RED FOX MOTEL
600 SOUTHWEST BEECH ROAD

ESTACADA, OR 97023

Approximate Value:
$3,600,000.00

SKIP ROTTICCI, CCIM
Vice President
(503) 499-0062
skip.rotticci@colliers.com
200204348

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SKIP ROTTICCI, CCIM
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(503) 499-0062
skip.rotticci@colliers.com
200204348

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Property Summary

Available SF	21,500
Building Size	21,500
Lot Size	124,119 Sq. Ft.
Property Type	Hospitality/ Self Storage
Approximate Value	$3,100,000
Rentable Sq. Ft.	21,500
Developable Land	70,291 Sq. Ft.
Zoning	Downtown
Traditional Hotel Rooms	24
Manager Apartment	1
One Bed Extended Stay Apartments	6
Two Bed Extended Stay Apartments	2
Self Storage Units	50

Property Overview

Red Fox Motel, Little Fox Self Storage, and the Grassy Knoll combined sit on approximately 2.84 acres and include two potential development sites totaling 1.61 acres, 33 motel and apartment units, 50 self storage spaces that are fully leased. The motel units include kind bed rooms, and two queen bed rooms. Rooms are well kept, clean, and are large at approximately 400 square foot. The Motel Building is approximately 10,000 square feet. The Apartment building is approximately 6000 square feet and includes a large laundry room on the ground level. The Little Fox Self Storage building is approximately 5500 square feet and includes 50 lockable self storage spaces with the smallest being 5 feet x 5 feet, and the largest being 10 feet x 30 feet.

Location Overview

Red Fox Motel sits on the south side of Highway 224 and is adjacent to restaurants and retail services. The motel is approximately four city blocks form the Harvest Market grocery store in Downtown Estacada, two city blocks from the popular Dollar General Store and is within easy walking distance to all Estacada City Services. In addition the property is situated along the Clackamas River and a section of River referred to as Estacada Lake. This is a popular recreation area with canoes, kayaks, stand up paddle boards, and swimmers.

SKIP ROTTICCI, CCIM
(503) 499-0062
skip.rotticci@colliers.com

Red Fox Motel

Red Fox Motel in Estacada, Oregon includes a total of 33 units that include 24 hotel rooms that feature single king beds, and two queen beds, 1 manager unit that is essentially a one bedroom apartment, 6 one bedroom extended stay units, and 2 two bedroom extended stay units. The Entire property held by the owners includes the Little Fox Self storage facility, and a 1.4 acre parcel affectionately referred to as the "Grassy Knoll". The Grassy Knoll parcel is relatively flat and can be easily developed as affordable housing.

SKIP ROTTICCI, CCIM
(503) 499-0062
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RED
FOX
MOTEL

Chapter 16.26 DOWNTOWN (D)
16.26.010 Downtown Zone (D)
16.26.020 Uses Permitted Outright
16.26.030 Conditional Uses Permitted
16.26.035 Prohibited Uses
16.26.040 Development Standards
16.26.050 Downtown Design Guidelines And Standards

16.26.010 Downtown Zone (D)

Intended to implement the Estacada Downtown and Riverside Area Plan (adopted 2011). The zone encourages a mix of office, service, retail, light manufacturing, and governmental uses. The D zone also allows residential uses in upper stories of commercial buildings, and high-density residential and mixed-use (residential and commercial) development oriented to the Clackamas River.

(Ord. No. 2012-005, § 3, 9-10-2012; Ord. No. 2015-006, § 1, 1-11-2016; Ord. No. 2016-003, § 1(Exh. A), 5-23-2016; Ord. No. 2017-006, § 5, 11-13-2017)

16.26.020 Uses Permitted Outright

The following uses and their accessory uses are permitted in the D zone:

A. Retail store or shop such as food stores, drug stores, apparel stores, hardware stores, furniture stores or similar establishments;
B. Repair shop for the type of goods offered for sale in retail trade establishments permitted in the D zone provided all repair and storage shall occur entirely within an enclosed building;
C. Personal or business service establishments such as barber or beauty shop, laundry or dry cleaning establishment, print shop or similar establishment;
D. Multi-family dwellings, provided that the ground floor residential uses do not front Broadway Street, Main Street, or OR 224, the residential density of the development is not less than sixteen (16) dwelling units per acre, and the standards of Section 16.26.040(H) are met;
E. Professional offices or medical facilities;
F. Hotel, motel or resort;
G. Short-term rentals;
H. Indoor commercial amusement or recreation establishment such as a bowling alley, theater or pool hall;
I. Mortuary;
J. Private museum, art gallery or similar facility;
K. Restaurant, bar or tavern; includes brewery or distillery in conjunction with primary permitted use;
L. Automobile service station, existing as of September 1, 2012, subject to EMC 16.26.040.H;
M. Governmental uses such as city hall, fire stations, police stations and offices of governmental agencies;
N. Public parks and plazas;
O. Public transportation facilities including streets, transit stops and stations, park and ride facilities, and bicycle and pedestrian facilities.
P. Live/work space provided that work activities are uses permitted outright and work space exclusively fronts the street most likely to receive the most pedestrian traffic;
Q. Manufacturing shop in conjunction with retail trade establishments permitted in the D Zone, except for processing and packaging of explosive chemical materials and environmentally hazardous materials, provided retail trade exclusively fronts the street most likely to receive the most pedestrian traffic;
R. Day care facility as defined in ORS Chapter 418;
S. No more than two food carts on a lot of record, subject to Chapter 16.66.

(Ord. No. 2012-005, § 3, 9-10-2012; Ord. No. 2015-006, § 2, 1-11-2016; Ord. No. 2016-003, § 1(Exh. A), 5-23-2016; Ord. No. 2017-006, § 5, 11-13-2017)

HISTORY
Amended by Ord. 2018-007 on 1/28/2019

16.26.030 Conditional Uses Permitted

The following uses and accessory uses may be permitted in the D zone subject to EMC 16.88.020 and the review procedures in EMC 16.132.010 through EMC 16.132.050:

A. A nonresidential use permitted as a conditional use in the R-1, R-2, or R-3 zone not permitted as an outright use listed above;
B. Outdoor commercial amusement or recreation establishment such as miniature golf courses or drive-in theaters, but not including uses such as racetracks or automobile speedways;
C. Cabinet or similar woodworking shops;
D. Lumber or building materials, sales or storage; except not within one hundred (100) feet of Broadway Street;
E. Mini-warehouse, except not within one hundred (100) feet of Broadway Street;
F. Processing and packaging of non-explosive chemical materials and non-environmentally hazardous materials;
G. Auto detail shop, except not within one hundred (100) feet of Broadway Street;
H. Automobile service station, except not permitted within one hundred (100) feet of Broadway Street, and subject to EMC 16.26.040.H;
I. Drive-through facilities, including car wash, drive-up window, coffee/food kiosk, automatic teller machine, and similar uses not otherwise listed, provided such uses shall conform to EMC 16.26.040.H;
J. Radio, television and/or cellular transmission towers; and
K. Transportation facilities that are not identified in the city's transportation system plan or active transportation plan
L. More than two food carts on a lot of record, subject to Chapter 16.66.

(Ord. No. 2012-005, § 3, 9-10-2012; Ord. No. 2017-006, § 5, 11-13-2017; Ord. No. 2018-003, § 3(Exh. 6), 10-8-2018)

HISTORY
Amended by Ord. 2018-007 on 1/28/2019

16.26.035 Prohibited Uses

Marijuana production, marijuana processing, marijuana wholesaling, and marijuana retailing are prohibited in the D zone.

(Ord. No. 2016-005, § 5, 8-22-2016; Ord. No. 2017-006, § 5, 11-13-2017)

16.26.040 Development Standards

The following standards shall apply in the D zone:

A. Lot Size and Dimensions. The minimum lot size and dimensions in the D zone shall be as follows:
   1. Minimum lot size: none.
B. Parking Requirements. There is no minimum off-street parking requirement for uses located within one hundred (100) feet of Broadway Street between OR 224 and 2nd Avenue. Uses in the D zone but located outside the above described area are required to provide off-street parking in accordance with EMC 16.76, except that the number of required off-street parking spaces may be reduced by twenty (20) percent in the D zone, per EMC 16.76.010.Q.19, off-street parking exemptions.

   Off-street parking shall not be located between a primary building entrance and the street(s) to which it is oriented; off-street parking shall be oriented internally to the block (beside or behind a building) and accessed by an alley or local street to the extent practicable. Exception: Off-street parking may be located between a primary building entrance and a street where the existing pattern of commercial development along OR 224 precludes compliance with the above standard; in which case, the proposed parking lot shall connect to and establish by deed reciprocal access easements for adjoining parking lots where feasible. (See also, EMC 16.116.010) In addition, the above standard does not apply to projects that are oriented to the Clackamas River.
C. Setbacks.
   1. Front and Street Side setbacks: Zero feet minimum and five feet maximum, except five feet minimum and ten (10) feet maximum for development abutting 2nd Avenue or 224.

      The maximum setback standard is met when a minimum of fifty (50) percent of a primary structure is placed within the required yard area. The maximum setback may be extended where city approves plaza space between building and sidewalk. Where a setback is provided, the area shall be landscaped or otherwise improved as an extension of the sidewalk or plaza space.
   2. Side setback: Zero feet for common wall development and ten (10) feet if abutting a residential zone; otherwise setback shall conform to building code.
   3. Rear setback: Zero feet for common wall development and ten (10) feet if abutting a residential zone; otherwise setback shall conform to building code.
   4. Special Street Setbacks: Additional setback dimensions may be required where a structure or building addition is proposed adjacent to an existing or planned street, and that street is proposed for widening or relocation. In such cases, the setback shall be the minimum prescribed above, plus one-half of the ultimate planned street right-of-way width, as measured from the street centerline.
D. Sidewalks. Sidewalks, driveways and service driveways shall conform to standards established by this code and shall be consistent with the street cross sections of the Estacada Transportation System Plan.
E. Fences and Walls. A solid fence or wall of not less than six feet in height, or other screening approved by the city decision-making body, shall be required along a property line that is the district boundary with an abutting residential district. Corner clear vision requirements shall be met.
F. Building Height. Buildings shall exceed the minimum height of seventeen (17) feet and shall not exceed the maximum height of sixty-five (65) feet.
G. Landscaping. A minimum of five percent of the area developed shall be landscaped. Public streetscape improvements such as plazas and extended sidewalk width adjacent to a proposed project may be credited toward the required landscape area, provided such area contains street trees or planters, and street furnishings, such as benches or other pedestrian amenities, consistent with the street cross sections of the Estacada Transportation System Plan. Where outdoor storage is permitted, it shall be screened with either a sight-obscuring fence or a buffer strip of vegetation, as required by the city decision-making body.
H. Access and Circulation.
   1. Vehicle access shall conform to Chapter 16.116, Design Standards and Improvements. In addition, the following standards apply within the Downtown District: a) No direct vehicle access is allowed from Broadway Street between OR 224 and 3rd Avenue; b) Access to Main Street, Acacia Road, Currin Street, and OR 224 between Broadway Street and Acacia Street shall be subject to the South Downtown Circulation and Access Plan (Downtown and Riverside Area Plan); and c) Access in other locations shall be minimized by providing shared access, interconnected driveways (with reciprocal access easements), and other methods, to the greatest extent practicable.
   2. Drive-through facilities. Where drive-through facilities (including drive-up window, teller machine, vehicle queuing area, and similar facilities) are permitted, they shall not be located adjacent to Broadway Street and shall not be placed between any street sidewalk and any primary building entrance used to conform to the Downtown Design Guidelines or Building Orientation standards. See EMC 16.26.050.D and EMC 16.26.050.E. The driveway access(es) and vehicle queuing area(s) for a drive-through facility shall be screened to reduce off-site impacts such as vehicle noise/fumes, and light spillover/glare at night, and designed to avoid parked, waiting, or backing vehicles from encroaching onto any pedestrian walkway or public right-of-way. The city decision-making body may require other mitigation measures to protect the public health, safety, and welfare pursuant with Chapter 16.88, Conditional Uses.
I. Clackamas Riverside. In order to implement the Transportation System Plan, new development on parcels adjacent to or containing the Clackamas Riverside Path shall conform to all of the following standards:
   1. Compliance with Clackamas River setbacks and erosion control measures shall be provided. The city of Estacada shall consult applicable State and Federal natural resource regulatory agencies and Portland General Electric in determining applicable mitigation measures for riverside development;
   2. Development shall provide public access to the Riverside Path; the city decision-making authority may require the provision of a public access easement of not less than ten (10) feet in width and a minimum six-foot wide paved surface connecting the subject development and any adjacent sidewalk to the Riverside Path, in conformance with the city of Estacada Public Works Standards;
   3. An area equal to not less than ten (10) percent of the subject site shall be reserved as a common open space between the development (building and paved area) and the Riverside Path. The open space shall be landscaped to serve as a partially sight-obscuring screen between the development and the path and to provide an area for surface water management.
J. Exceptions. The standards of this section pertaining to accessory structures and setbacks may be modified as provided for in EMC 16.60.030 through EMC 16.60.050.

(Ord. No. 2012-005, § 3, 9-10-2012; Ord. No. 2012-008, § 3, 1-14-2013; Ord. No. 2015-006, §§ 3, 4, 1-11-2016; Ord. No. 2017-006, § 5, 11-13-2017)

16.26.050 Downtown Design Guidelines And Standards

A. Purpose. EMC 16.26.050 is intended to facilitate downtown development and revitalization through the application of development and design standards, consistent with the Estacada Downtown and Riverside Area Plan (adopted 2011).
B. Applicability. The standards of EMC 16.26.050 apply to new structures and exterior remodels of structures in the Downtown zone, as follows:
   1. Site plan approval by the City of Estacada is required prior to building permit approval and prior to commencing any exterior building remodel in the Downtown zone.
   2. City staff shall review proposed site plans for compliance with the requirements of this chapter. Proposed site plans are subject to the review procedures in EMC 16.132.015.
   3. The city may appoint a design review committee comprised of downtown property owners, merchants, and/or design professionals to assist and advise the city in applying the Downtown Design Guidelines and Standards. Site plan review is required only for that portion of a structure or development that is proposed to change.
   4. A design review application shall be considered to be compatible if EMC 16.26.050.B.6—9 is met, if a minimum of sixty-five (65) percent of the total possible points on Table 16.26.050 are accumulated, and if one point in each category on Table 16.26.050 is received.
   5. Signs shall comply with requirements of EMC 16.72 signs.
   6. Primary entrances shall face the street likely to have the greatest pedestrian traffic. Exception: Buildings adjacent to the Clackamas River need not have their primary entrance oriented to a street, provided that the building itself is oriented to the river; this standard is met when proposed offices, overnight accommodations, restaurant, dwellings, or other permitted use incorporates a river overlook and pedestrian connection to the river pathway.
   7. Transparent elements that allow for visibility in and out of the building and which contribute to a pedestrian-oriented downtown aesthetic shall be a key design component. Buildings shall meet the following criteria. The following requirements shall apply this standard:
      a. Fifty (50) percent of the face of a building's ground floor, and forty (40) percent of the face of all upper floors, along a street shall be transparent elements. The area of a floor's "face", for the purposes of applying Subsection 7.a, shall be determined by multiplying the horizontal length of the subject building wall by either the height of that floor from its average finished grade to its ceiling, or by 10 feet, whichever height is shorter.
      b. The top of ground floor transparent elements shall not be lower than 84 inches above the average exterior finished grade of the building wall. Display windows for merchandise that do not provide views into the store can satisfy the transparent element requirement if the display windows are at least 24 inches deep and can contain three-dimensional objects, such as product displays or mannequins.
      c. Upper floor transparent elements shall not themselves be less than 36 inches in height, as measured from the bottom of the transparent element to its top.
      d. Glass blocks, opaque glazing, reflective windows, tinted windows, privacy windows, or any other element with a Visible Transmittance (VT) value below 60 percent is not considered a "transparent element" for the purposes of this Section.
      e. Existing buildings with less transparent elements than specified in this section shall not decrease the total amount of transparent element area during any renovation.
      f. City planning staff may provide an adjustment to transparency requirements for parking garages without a variance, provided the building design incorporates openings, screening, or other desirable design elements, subject to site plan review.
   8. Development abutting Broadway Street shall orient to Broadway Street. Where a development does not abut Broadway Street, it shall provide a primary entrance facing the street that is likely to have the most pedestrian traffic, as determined by the city decision-making body.

TABLE 16.26.051

CRITERIA	Scores			
BUILDING LOCATION AND ORIENTATION				
All building entrances shall be recessed or covered by pedestrian shelters: No = 0, Yes = 2	N/A	O	1	2
Primary building entrances shall be least fifty (50) percent transparent so that two-way views, in and out of a building, are possible. This standard can be met by a door with a window, a transom window above the door, or sidelights beside the door: No = 0, Yes = 2	N/A	O	1	2
Possible _____ Received _____				
BUILDING OPENINGS				
Architectural detailing shall define building entrances, No = 0, Yes = 2	N/A	O	1	2
Windows on buildings fronting Broadway Street shall contain trim, reveals or recesses of not less than four inches in width or depth.				
Wall mounted lighting consistent with the architecture of the building shall illuminate primary building entrances and building mounted signage No = 0, Yes = 1	N/A	O	1	2
Possible _____ Received _____				
BUILDING LINE AND RHYTHM				
New buildings shall follow prominent horizontal lines on existing adjacent buildings, such as window trim, parapet line, or awning line: No = 0, Yes = 2	N/A	O	1	2
New buildings shall maintain clear visual division between ground floor and upper floors: No = 0, Yes = 1	N/A	O	1	2
New buildings shall incorporate rhythmic divisions relating to historic building patterns and proportions. For example, front elevations should be articulated (e.g. defined by an offset, recess, projection or similar "break" in the wall plane) not less than once every twenty-five feet: No = 0, Yes = 2	N/A	O	1	2
New buildings shall reflect vertical orientation through volume, roof form, and/or surface detail, such as vertically oriented sash windows, brick or stucco cladding and trim, or board and batten siding: No = 0, Yes = 2	N/A	O	1	2
Possible _____ Received _____				
MATERIALS AND COLOR				
Exterior cladding shall be consistent with historic building design. Materials may consist of brick, brick veneer, stone, split-face concrete block, clapboard siding, board and batten siding or similar materials: No = 0, Yes = 2	N/A	O	1	2
All four sides of the building shall contain complementary exteriors: No = 0, Yes = 1	N/A	O	1	2
Pitched roofs shall be wood, slate, cement tile, asphalt shingles, flat metal or standing rib seam sheet metal. No = 0, Yes = 2	N/A	O	1	2
Buildings fronting Broadway Street shall have cornices or parapets that incorporate materials that are consistent with overall composition of the building. No: = 0, Yes = 2	N/A	O	1	2
Possible _____ Received _____				
PEDESTRIAN SHELTERS, PUBLIC SPACE				
Buildings fronting Broadway Street shall contain pedestrian shelters such as awnings, canopies, or recesses at least 5 feet over the pedestrian area along a minimum sixty percent (60%) of ground floor elevation: No = 0, Yes = 2	N/A	O	1	2
At least three percent (3%) and not less than three hundred (300) square feet of each new development site shall be designated and improved as ADA accessible civic space.: No = 0, Yes = 1	N/A	O	1	2
Street frontages shall be improved with pedestrian amenities equal to are greater than .5% of the estimated construction cost of the proposed building(s), No = 0, Yes = 2	N/A	O	1	2
Possible _____ Received _____				

Total Possible _____ Total Received _____ Percentage _____

Is a minimum of one point in each category received? Y _____ N _____

Are the standards in 16.26.050(B)(6)—(8) met? Y _____ N _____

(Ord. No. 2012-005, § 3, 9-10-2012; Ord. No. 2015-006, § 5, 1-11-2016; Ord. No. 2017-006, § 5, 11-13-2017; Ord. No. 2018-001, § 1, 6-11-2018)

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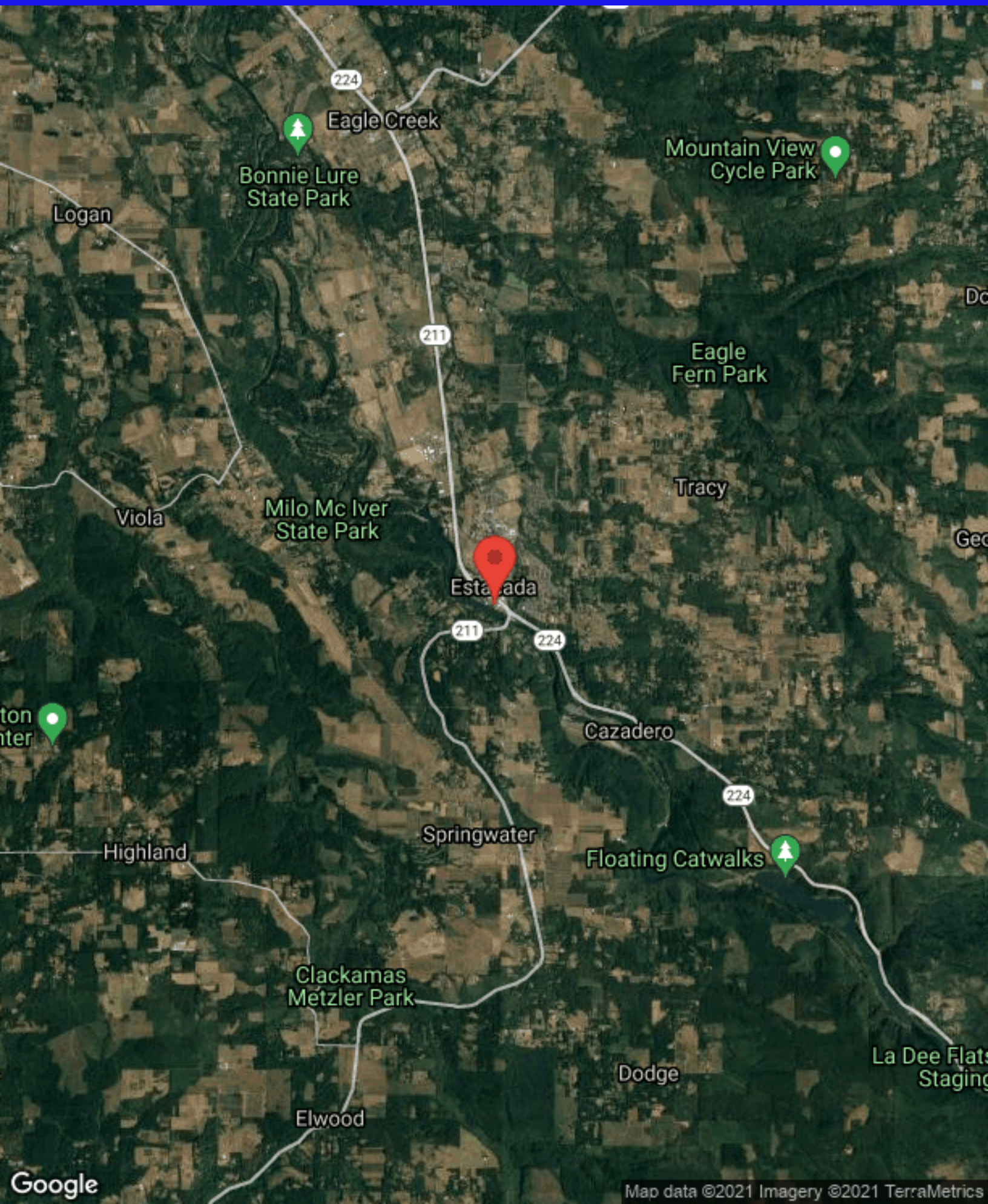
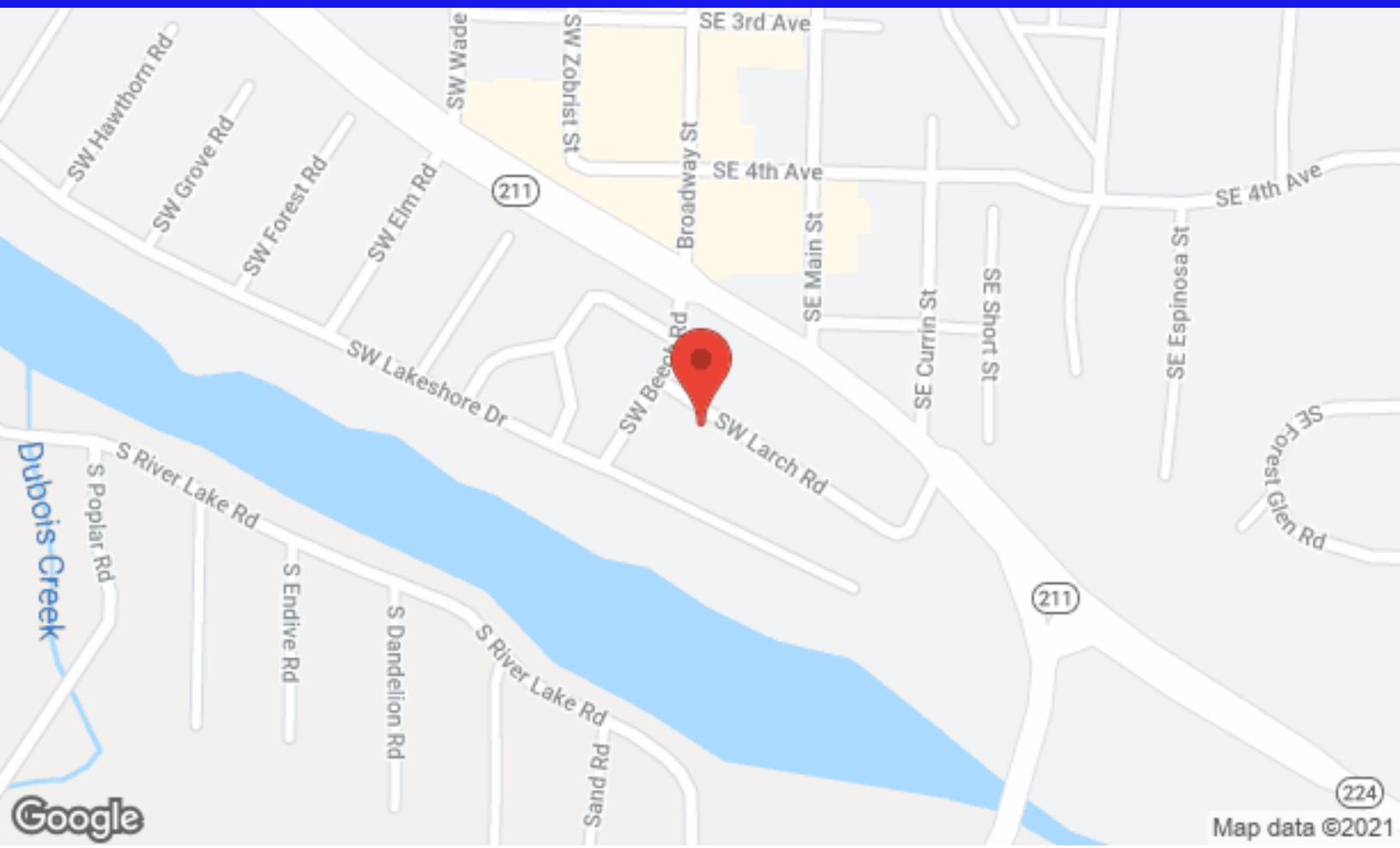
REGIONAL MAP

Red Fox Motel
600 Southwest Beech Road | Estacada, OR 97023



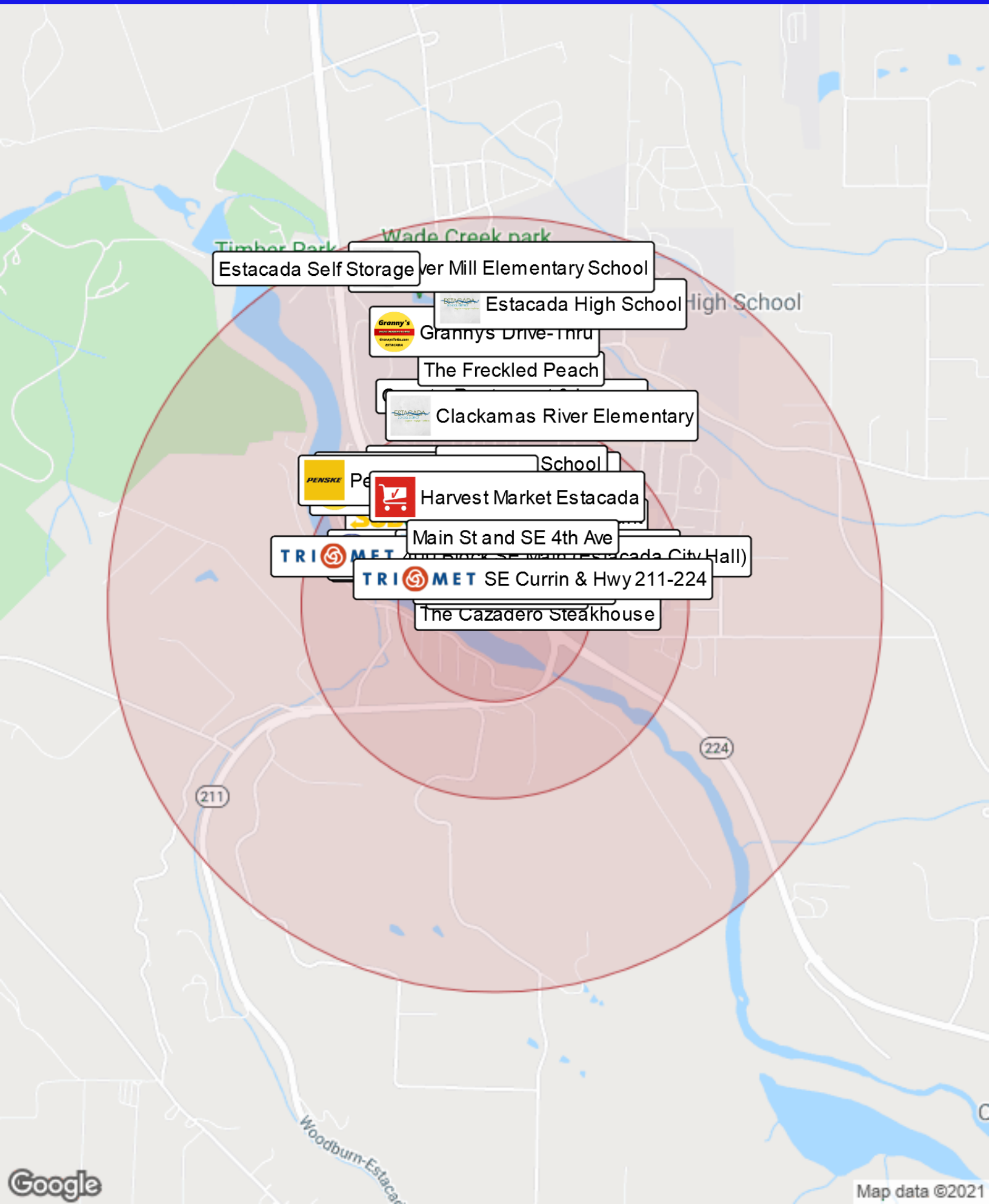
LOCATION MAP

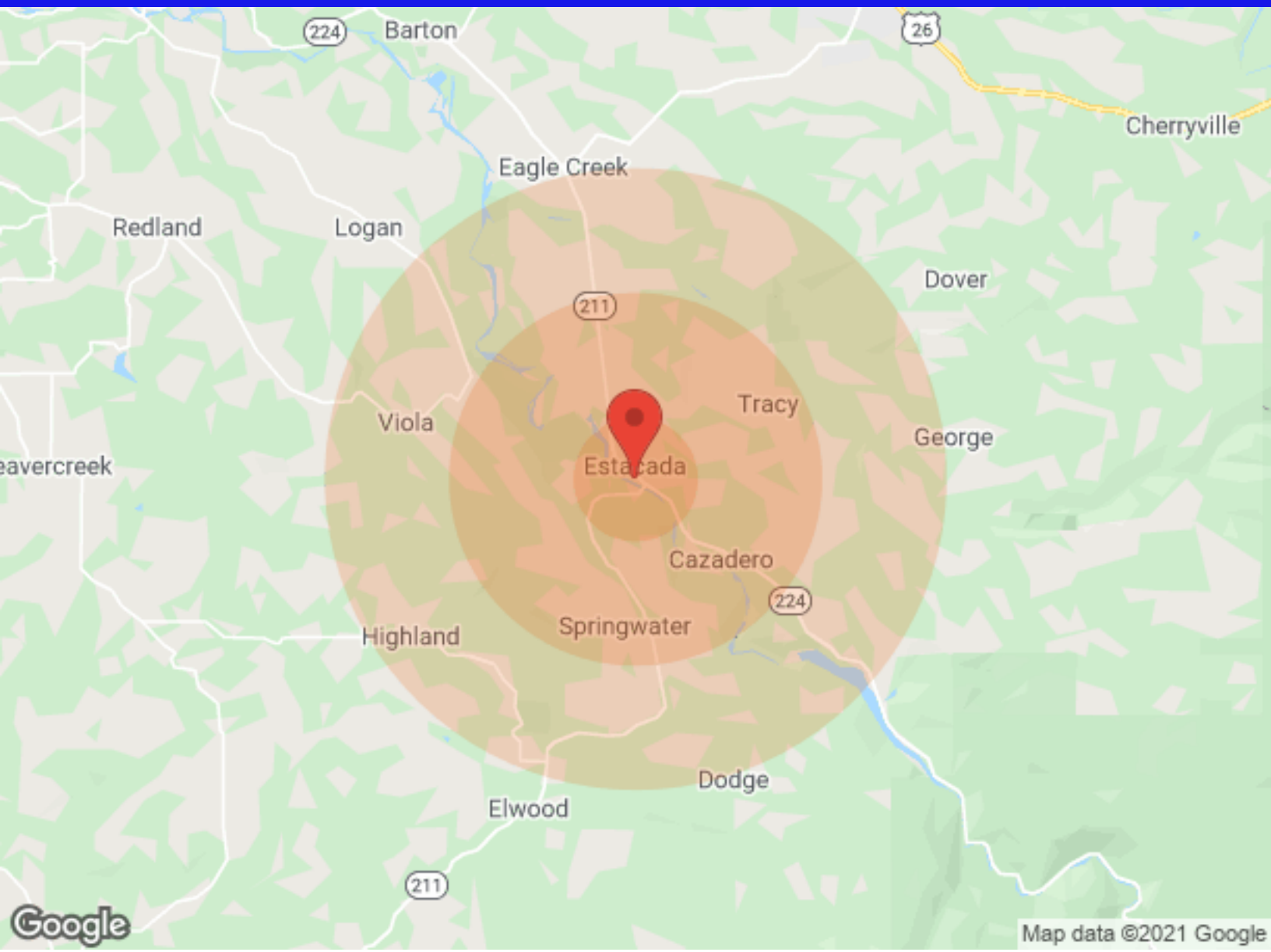
Red Fox Motel
600 Southwest Beech Road | Estacada, OR 97023



AERIAL MAP

Red Fox Motel
600 Southwest Beech Road | Estacada, OR 97023


Estacada Self Storage
Estacada High School
Granny's
The Freckled Peach
Clackamas River Elementary
PENSKE
Harvest Market Estacada
Main St and SE 4th Ave
TRIMET
TRIMET SE Currin & Hwy 211-224
224
211
Google
Map data ©2021

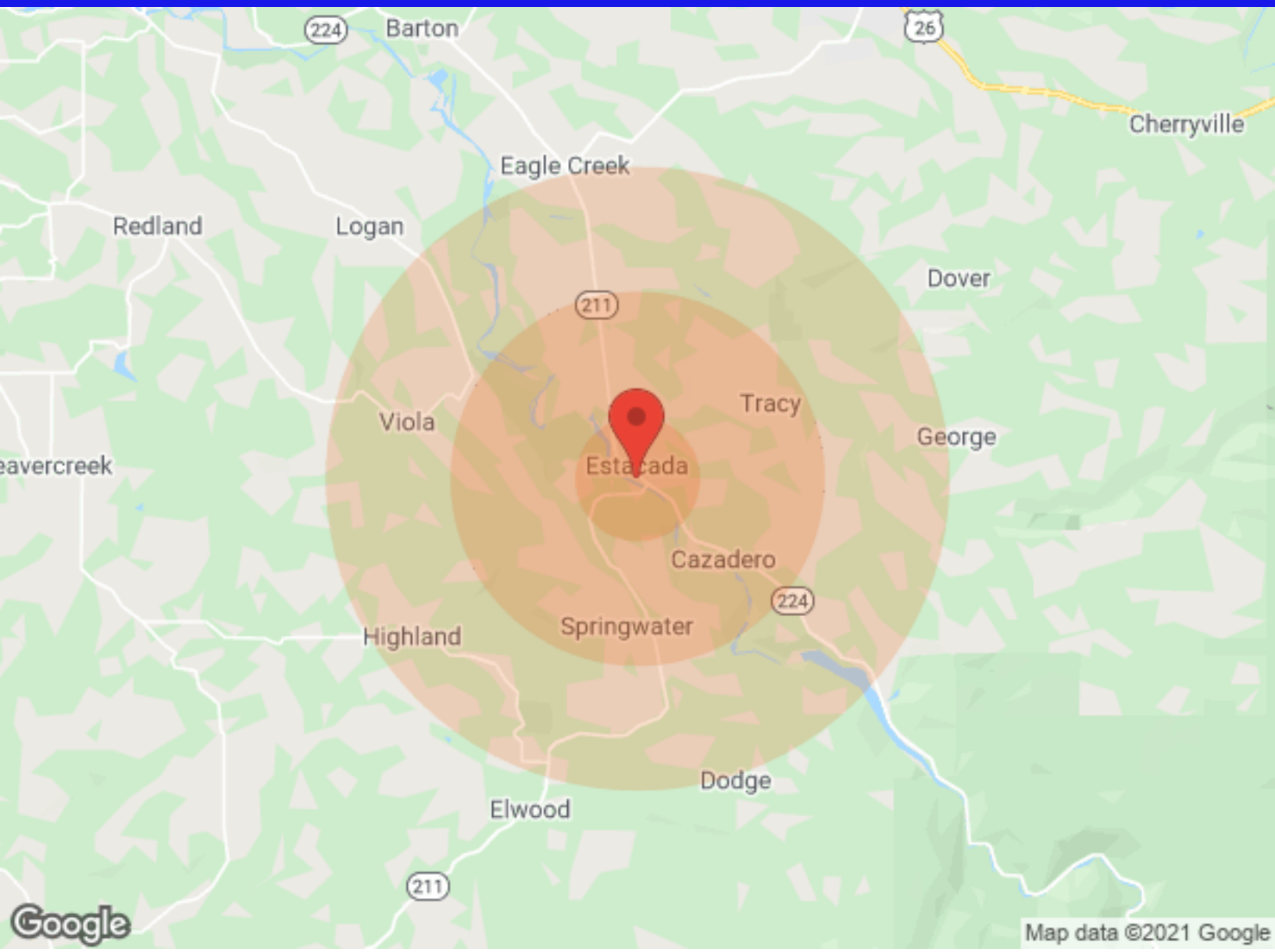


Population	1 Mile	3 Miles	5 Miles
Male	N/A	2,269	5,887
Female	N/A	2,419	5,997
Total Population	N/A	4,688	11,884

Housing	1 Mile	3 Miles	5 Miles
Total Units	N/A	1,928	4,674
Occupied	N/A	1,795	4,373
Owner Occupied	N/A	1,250	3,439
Renter Occupied	N/A	545	934
Vacant	N/A	133	301

Race	1 Mile	3 Miles	5 Miles
White	N/A	4,290	11,268
Black	N/A	7	13
Am In/AK Nat	N/A	33	42
Hawaiian	N/A	N/A	2
Hispanic	N/A	418	629
Multi-Racial	N/A	690	1,066

The calculations and data presented are deemed to be accurate, but not guaranteed. They are intended for the purpose of illustrative projections and analysis. The information provided is not intended to replace or serve as substitute for any legal, accounting, investment, real estate, tax or other professional advice, consultation or service. The user of this software should consult with a professional in the respective legal, accounting, tax or other professional area before making any decisions.



Age	1 Mile	3 Miles	5 Miles
Ages 0-4	N/A	244	515
Ages 5-9	N/A	310	662
Ages 10-14	N/A	328	708
Ages 15-19	N/A	347	775
Ages 20-24	N/A	359	813
Ages 25-29	N/A	331	758
Ages 30-34	N/A	293	694
Ages 35-39	N/A	272	641
Ages 40-44	N/A	267	637
Ages 45-49	N/A	298	757
Ages 50-54	N/A	323	873
Ages 55-59	N/A	317	914
Ages 60-64	N/A	287	896
Ages 65-69	N/A	232	759
Ages 70-74	N/A	168	587
Ages 74-79	N/A	108	378
Ages 80-84	N/A	74	223
Ages 85+	N/A	130	294

Income	1 Mile	3 Miles	5 Miles
Median	N/A	$37,993	$54,441
< $10,000	N/A	195	325
$10,000-$14,999	N/A	197	306
$15,000-$19,999	N/A	78	180
$20,000-$24,999	N/A	87	313
$25,000-$29,999	N/A	26	143
$30,000-$34,999	N/A	65	161
$35,000-$39,999	N/A	177	244
$40,000-$44,999	N/A	51	187
$45,000-$49,999	N/A	22	137
$50,000-$60,000	N/A	196	377
$60,000-$74,000	N/A	178	490
$75,000-$99,999	N/A	210	628
$10,0000-$124,999	N/A	104	428
$125,000-$149,999	N/A	78	223
$150,000-$199,999	N/A	88	186
> $200,000	N/A	17	118

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