

Haleiwa Town B1 Zoned +/- 1 Acre Development Parcel Haleiwa, Hawaii



Haleiwa Town B1 Zoned +/- 1 Acre Development Parcel Evaluation Report

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A. General Information

The subject property is located in the urban district of Haleiwa, which is also designated as a Special District area (see Attachment A). It is across and down the street from several B1 zoned properties, and is located approximately 100' from the North Shore Marketplace Shopping Center. Neighboring the site to the immediate north are parcels containing one story single family residential dwellings. Kamehameha Hwy is located along the subject property's eastern boundary line. The parcel neighboring the subject property's southern boundary line is zoned R-5 Residential with a few one story single family residential dwellings and two single story businesses. The parcel bordering the subject property on the west is zoned as both AG-2 General Agricultural district and R-5 Residential district and populated mainly with trees and bush.

The City and County of Honolulu Tax Map Key drawing indicates the current lot is a subdivision with two (2) single story residential dwellings and two (2) single story food and beverage establishments which appear to be former residences (see Attachment B1 and B2).

Building envelope, parking count, and number of stories will vary with final program. See Attachment G for details of an example study showing maximum building area and height.

B. Parcel Information

TMK:	6-6-009:027
Land Area:	41,992 Square Feet (SF) 0.964 Acres
State Land Use:	Urban District
Address:	66-235 A Kamehameha Hwy 66-235 Kamehameha Hwy 66-239 A Kamehameha Hwy 66-239 Kamehameha Hwy
Existing Floor Area:	3,094 SF

C. Applicable Codes / Guidelines

International Building Code (IBC), 2006 Edition with local amendments
Uniform Plumbing Code (UPC), 2006 Edition with local amendments

International Energy Conservation Code (IECC), 2006 with local amendments
National Electrical Code (NEC), 2008 with local amendments
NFPA 1, 2006 Edition with local amendments
2010 ADA Standards for Accessible Design
Land Use Ordinance (LUO), April 2003

Special District Design Guidelines – Haleiwa, April 1991 (See Attachment C)

D. Zoning and Land Use

Applicable Zoning Districts:	B-1 Business - Neighborhood
Adjacent Areas:	R-5 Residential AG-2/R-5 Agricultural and Residential B-1 Business - Neighborhood
Allowable Uses: (Table 21-3)	Amusement and Recreation Facilities, Indoor Business Services Dance or Music Schools Eating Establishments Financial Institutions Laboratories, Medical Medical Clinics Office Buildings Personal Services Photographic Processing Photography Studios Real Estate Office Retail Establishment Trade or Convention Center Travel Agency Consulates Repair Establishments, Minor Art Galleries and Museums Day-Care Facilities Public Uses and Structures Schools, Business Schools: Elementary, Intermediate, and high Schools: Language Schools: Vocational, Technical, Industrial, Trade Schools: Vocational (which do not involve the operation of woodwork shops, machine shops or other similar features) Theaters Commercial Parking Lots and Garages

Drive-Thru Facilities*
Veterinary Establishment*
Car Washing, Mechanized*
Utility Installations, Type A*
* Permitted use subject to standards in
Article 5 of the LUO

Conditional & Accessory allowable uses are subject to special standards and review.

FEMA Flood Designation:	X (Beyond 500 Year Flood Plain)
Special District(s):	Haleiwa Special District
Maximum Height Allowed:	42'-0" (30' + up to additional 12' of Director approved exemptions; see Attachment F for details)
Required Yards and Setbacks:	Front = 10'-0" Side and Rear = 0* (see Attachment E, F, & G)

Table 21-3.4: Where the side or rear property line of a zoning lot adjoins the side or rear yard of a zoning lot in a residential, apartment or apartment mixed use district, there shall be a side or rear yard which conforms to the yard requirements for dwelling use of the adjoining district. In addition, see Section 21-4.70-1 for landscaping and buffering requirements.

Height Setbacks:	(see Attachment E, F & G)
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B-1 District Transitional Height Setback: Where a zoning lot adjoins a zoning lot in a residential district, the residential district height setbacks shall be applicable at the buildable area boundary line of the adjoining side of the B-1 zoning lot (see Figure 21-3.5 in Attachment E).

Per Haleiwa Special District regulation:

(1) Permitted maximum heights of buildings and structures within the district shall not exceed 30 feet, except as provided under subdivision (2) of this subsection. Where the underlying zoning district has a lower height limit, the lower height shall prevail.
(2) The director may exempt the following architectural features from the height regulation, provided they are erected only to such height as is necessary to accomplish the purpose for which they serve, but in no case exceeding 12 feet above the maximum height limit. These building elements may be exempted only if the director finds they do not obstruct any significant views which are to be preserved, protected and enhanced and are consistent with the intent and objectives of the Haleiwa special district. (see Attachment F for more details)

Street Setback:	The street setback runs parallel along the Kamehameha Hwy from the southern property
-----------------	--

line at 7'-0" and increases to 9'-0" at the northern property line. (see Attachment G)

Building Area and FAR

Maximum Building Area: Not Regulated (see Attachment F)

Maximum Density (FAR) Allowed: FAR = 1.0 (see Attachment F)

$$\begin{aligned}\text{FAR} \times (\text{lot area}) &= \text{Allowable SF} \\ 1.0 \times (41,992 \text{ SF}) &= 41,992 \text{ SF}\end{aligned}$$

Haleiwa Special District

The parcel is located in the Haleiwa Special District, which was established in the late 1800s. Haleiwa town retains a commercial setting typical of a rural plantation town, and therefore an integral and important part of Hawaii's history. Haleiwa's designation as a Special District was intended to perpetuate and enhance the rural character of the existing community, by ensuring that all new development be compatible in design.

Boundaries: The Haleiwa special district boundaries are designated on Exhibit 21-9.16 (see Attachment E)

Significant Public Views and Resources: Significant views within Haleiwa special district are identified on Exhibit 21-9.18 (see Attachment E)

Architectural Appearance and Character: *(1) General. The architectural form, scale and character for new or renovated structures and modifications of existing structures shall be similar to the existing traditional building forms of Haleiwa. Typical characteristics for business districts are low structures with sloped roof canopies or overhanging second floors, false front facades or parapets, metal roofs, ground floors with entrances to the street, wood porches, generous window openings, and small-scale architectural detailing of facades.*

See Attachment E for additional design control regulations (e.g. height, landscaping, etc.)

Project Classification *A special district permit is not required for activities and uses classified as exempt, as well as other project types which do not fall into one of the categories listed above. These activities and uses, however, must still conform to the applicable objectives and standards of the special district. This*

conformance will be determined at the building permit application stage.

See Table 21-9.7 in Attachment E, to determine whether specific projects will be classified as major, minor, or exempt.

Special Development Standards (LUO – Article 5)

Conditional and Accessory uses are permitted, but subject to standards described in Article 5 of the LUO. Based on the designated zoning district (B-1), the following are additional uses permitted for the selected property:

Special Accessory Use	Dwellings, Owner's or Caretaker's Accessory Antennas, Receive-Only
Conditional Use – Minor	Convenience Stores Automobile Service Stations Joint Use of Parking Facilities Off-Site Parking Facilities Utility Installations, Type B Wind Machines Historic, Structures, use of Joint Development
Conditional Use – Major	Recreation Facilities, Outdoor Day-Care Facilities Amusement Facilities, Outdoor, not Motorized Amusement Facilities, Outdoor, Motorized
Plan Review Use	Trade or Convention Center Hospitals Prisons Airports

Parking and Loading (Subject Parcel Only)

Required Parking:	(see Attachment H)
Financial Institutions:	1 per 400 square feet
Business Services:	1 per 500 square feet
Convenience Stores:	1 per 300 square feet
Eating and Drinking	

Establishments: 1 per 300 square feet, provided the total floor area of all eating and drinking establishments comprises 50 percent or more of the floor area developed on the zoning lot. Otherwise, 1 per 400 square feet, including outdoor dining areas.

Dwellings, accessory dwelling unit: 1 per accessory dwelling unit or none if the accessory dwelling unit is located within one-half mile of a rail transit station.

Art galleries, museums
And libraries: 1 per 400 square feet

Required Loading:
(Retail stores / eating and drinking establishments / business services)

2,000-10,000 Floor Area (SF)	1 loading spaces required
10,001-20,000 Floor Area (SF)	2 loading spaces required
20,001-40,000 Floor Area (SF)	3 loading spaces required

Accessible Parking: Comply with ADA 2010 Standards for Titles II and III Facilities: 2004 ADAAG Table 208.2 Parking Spaces (See Attachment I)

Building Code (per IBC 2006)

The intended use and occupancy for the proposed work needs to be identified in order to complete a detailed building code analysis.

E. Permit Application Process

Building permit fee is based on the valuation of the project.

Plan review fee is 20% of a tentative building permit fee based on the preliminary valuation of work, but not greater than \$25,000. Plan review fees are in addition to the building permit fee.

Permit review process starts from the time the permit application is logged in. For projects with valuation of \$10,000,000 and up (Category 5), the estimated time for review is 4-6 months. Review time listed is an estimate only and can vary.



733 Bishop Street, Suite 3100
Honolulu, Hawaii 96813
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www.ahl.design

Effective October 1, 2013, plans for new buildings will have to be submitted to DPP through the computer-based ePlans program. The requirement will not include plan submittals for master tract homes.

F. Site Photos

(See Attachment J)

66-235 KAM HWY | Taxkey: 1-6-6-9-27 | Subdivision: Haleiwa

PROPERTY BASICS

Owner: HTP LLC	Tax Payer: HTP LLC	Tax Bill: 3375 KOAPAKA ST STE F238-6, HONOLULU, HI 96819 USA	
Tenure: Fee Simple	Annual Tax (2017): \$30,036.52	Buildings: 4	Zoning: B-1
Dwellings: 4	PITT Code: 3-COMMERCIAL(AII Island)	Land Use: 11	Census Tract: 99.02
Bedrooms/Baths: 12/4	Lot#:	Zip: 96712	Land Size: 41,992 sqft Building Size: 3,094 sq ft

Tax Year	Property Taxes	Assessed Values			Exemptions		
		Land	Building	Tax Assessment	Land	Building	Total
2017	\$30,037 +\$7,575 +33.73%	\$2,141,800	\$280,500	\$2,422,300 +\$610,900 +33.73%	\$0	\$0	\$0
2016	\$22,461 -\$1,028 -4.38%	\$1,529,800	\$281,600	\$1,811,400 -\$82,900 -4.38%	\$0	\$0	\$0
2015	\$23,489 +\$20,023 +577.70%	\$1,619,800	\$274,500	\$1,894,300 +\$904,000 +91.29%	\$0	\$0	\$0
2014	\$3,466 -\$513 -12.89%	\$643,700	\$346,600	\$990,300 -\$146,500 -12.89%	\$0	\$0	\$0
2013	\$3,979	\$846,300	\$290,500	\$1,136,800	\$0	\$0	\$0

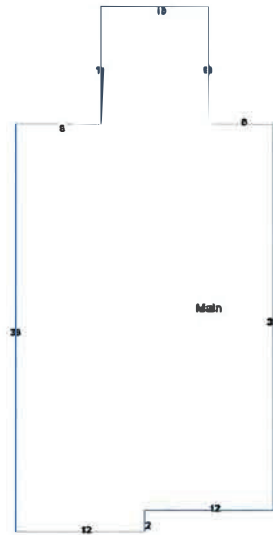
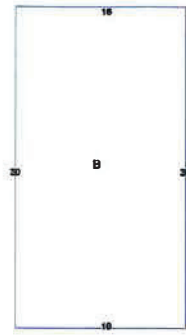
SALES

9/17/1991	TRANSD	BORGES EMILY S/ETAL SOUZA GERTRUDE	\$0 DOC 91-126427	
3/10/1992	TRANSD	BORGES EMILY S/ETALS BORGES ROGER A	\$0 DOC 92-034584	
8/18/1993	TRANSD	BORGES EMILY S/ETAL BORGES ROGER A	\$0 DOC 93-135194	
1/31/2006	TRANSD	MCKAY, MARILYN, Trustee() *THAT CERTAIN UNRECORDED TRUST INSTRUMENT KNOWN *AS THE MARILYN MCKAY REVOCABLE LIVING TRUST *DATED JANUARY 18, 2006 MARILYN MCKAY REVOCABLE LIVING TRUST, ()	\$0 DOC 06-018799	BOC
3/21/2007	DEED	WALLACE, SCOTT C, Trustee(Trust) *THAT CERTAIN UNRECORDED SCOTT C. WALLACE *AMENDED 1995 TRUST DATED DECEMBER 5, 2000, *WITH ALL THE POWERS SCOTT C WALLACE AMENDED 1995 TRUST, A Company or Corporation(Trust)	\$1,300,000 DOC 07-051011	BOC
11/20/2012	DEED	HTP LLC, A Company or Corporation	\$1,101,760 DOC 47071100	BOC

BUILDING DETAILS

TAXKEY: 1-6-6-9-27		BLDG 1 OF 4		CARD 1 OF 4	
Year Built: 1928		Style: Contemporary		Bldg Quality: (3) Fair	
Effective Year Built: 1978		Shape: Rectangle		Occupancy: Single-family	
Physical Condition: Average		Roof Structure: Wood		Framing: Wood/single wall	
Cost & Design Factor: 1.00%		Roof Material: Composition		Exterior Wall: Fir/Pine	
Economic Factor:		Roof Design: Hip		Interior Wall Structure: Single wall	
Percent Complete: 100%		Foundation: Wood piers		Interior Wall Material: Wood	
Building Value: \$280,500		Central AC/Heat: None		Flooring: Pine	
Attic: None		Basement: None		Floor Construction: Wood joist	
Pool: None		Ceiling: Canec			
FLOOR AREAS		ROOMS		BATHS	
LLLA	0	Family Rms	0	Full Baths	1
1st Story	998	Bedrooms	3	Half Baths	0
2nd Story	0	Rec Rooms	No	Add'l Fixt.	2
Add'l Story	0	Total Rms	5	Total Fixt.	5
Half Story	0				
Attic	0				
Total SFLA 1	998	Rec Room area	0		
Basement	0				

BUILDING SKETCH



1.BA.005.007.000 Card 1

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RESIDENTIAL BUILDING ADDITIONS

#	1st Story	Area
Main		998.00
B	GARAGE WOOD FRAME BIT/CONC FLOOR	480.00
C	DEDUCT FIXTURES	2.00

BUILDING DETAILS

TAXKEY: 1-6-9-27

BLDG 2 OF 4

CARD 2 OF 4

Year Built: 1935
Effective Year Built: 1975
Physical Condition: Average
Cost & Design Factor: 1.00%
Economic Factor:
Percent Complete: 100%
Building Value: \$280,500
Attic: None
Pool: None

FLOOR AREAS

LLLA	0
1st Story	730
2nd Story	0
Add'l Story	0
Half Story	0
Attic	0
Total SFLA 2	730
Basement	0

Style: Contemporary
Shape: Rectangle
Roof Structure: Wood
Roof Material: Composition
Roof Design: Hip
Foundation: Wood piers
Central AC/Heat: None
Basement: None
Ceiling: Canec

ROOMS

Family Rms	0
Bedrooms	3
Rec Rooms	No
Total Rms	5

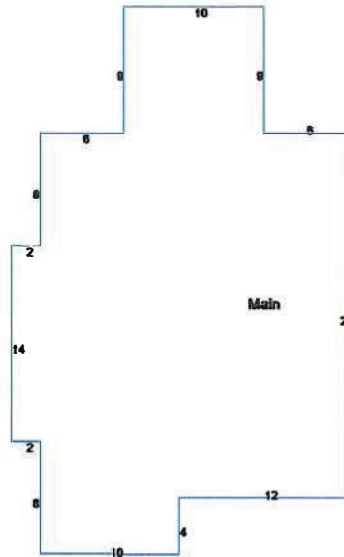
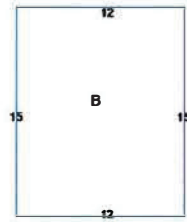
Rec Room area 0

Bldg Quality: (3) Fair
Occupancy: Single-family
Framing: Wood/single wall
Exterior Wall: Fir/Pine
Interior Wall Structure: Single wall
Interior Wall Material: Wood
Flooring: Pine
Floor Construction: Wood joist

BATHS

Full Baths	1
Half Baths	0
Add'l Fixt.	2
Total Fixt.	5

BUILDING SKETCH



1-8-000-027-0000 Card 2

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RESIDENTIAL BUILDING ADDITIONS

#	1st Story	Area
Main		730.00
B	PORCH CEILED PARTLY ENCLOSED - MAS	180.00
C	DEDUCT FIXTURES	2.00

BUILDING DETAILS

TAXKEY: 1-6-6-9-27

BLDG 3 OF 4

CARD 3 OF 4

Year Built: 1913
Effective Year Built: 1978
Physical Condition: Average
Cost & Design Factor: 1.00%
Economic Factor:
Percent Complete: 100%
Building Value: \$280,500
Attic: None
Pool: None

FLOOR AREAS

LLLA 0
 1st Story 584
 2nd Story 0
 Add'l Story 0
 Half Story 0
 Attic 0
 Total SFLA 3 584
 Basement 0

Style: Contemporary
Shape: Rectangle
Roof Structure: Wood
Roof Material: Composition
Roof Design: Hip
Foundation: Wood piers
Central AC/Heat: None
Basement: None
Ceiling: Canec

ROOMS

Family Rms 0
 Bedrooms 3
 Rec Rooms No
 Total Rms 5

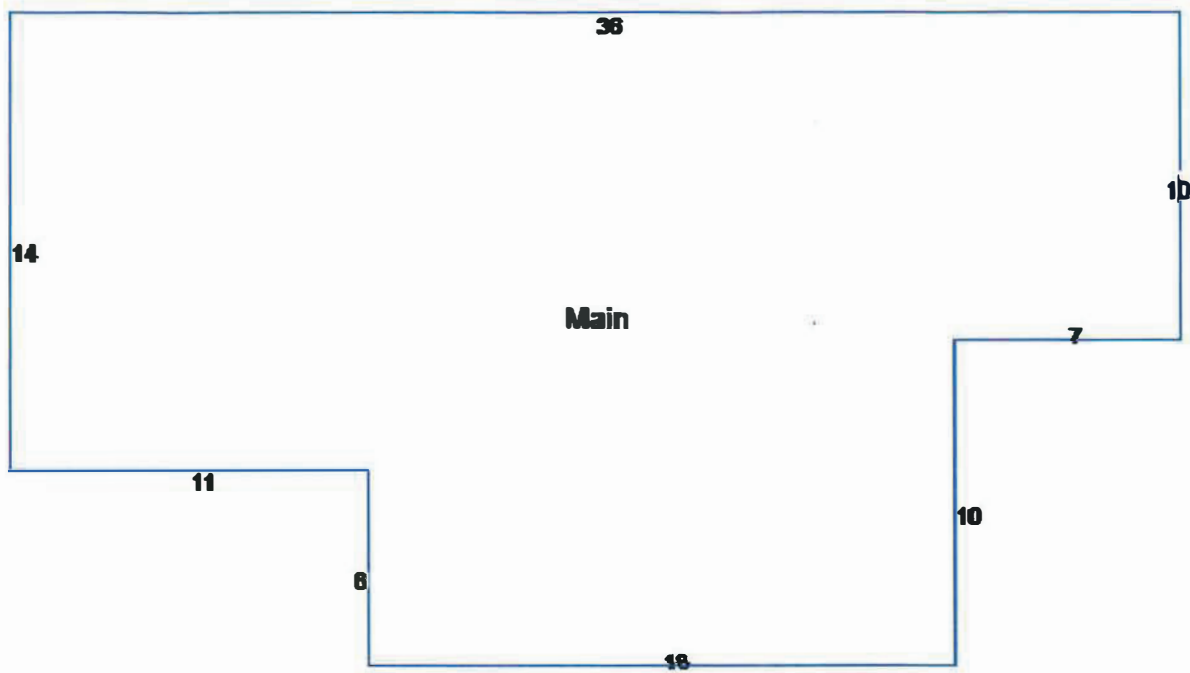
Rec Room area 0

Bldg Quality: (3) Fair
Occupancy: Single-family
Framing: Single wall/dbl board
Exterior Wall: Masonite
Interior Wall Structure: Single wall
Interior Wall Material: Wood
Flooring: Pine
Floor Construction: Wood joist

BATHS

Full Baths 1
 Half Baths 0
 Add'l Fixt. 2
 Total Fixt. 5

BUILDING SKETCH



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RESIDENTIAL BUILDING ADDITIONS

#	1st Story	Area
Main		584.00
B	DEDUCT FIXTURES	2.00

BUILDING DETAILS

TAXKEY: 1-6-6-9-27

BLDG 4 OF 4

CARD 4 OF 4

Year Built: 1937
 Effective Year Built: 1977
 Physical Condition: Average
 Cost & Design Factor: 1.08%
 Economic Factor:
 Percent Complete: 100%
 Building Value: \$280,500
 Attic: None
 Pool: None

FLOOR AREAS

LLLA	0
1st Story	782
2nd Story	0
Add'l Story	0
Half Story	0
Attic	0
Total SFLA 4	782
Basement	0

Style: Contemporary
 Shape: Irregular
 Roof Structure: Wood
 Roof Material: Shingle
 Roof Design: Hip
 Foundation: Wood piers
 Central AC/Heat: None
 Basement: None
 Ceiling: Canec

ROOMS

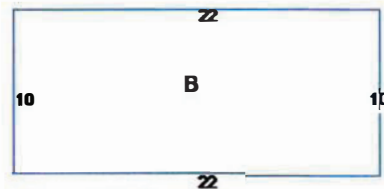
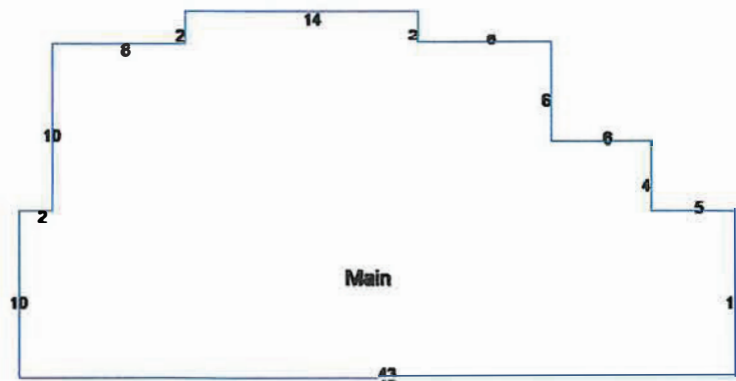
Family Rms	0
Bedrooms	3
Rec Rooms	No
Total Rms	5
Rec Room area	0

Bldg Quality: (3) Fair
 Occupancy: Single-family
 Framing: Wood/single wall
 Exterior Wall: Fir/Pine
 Interior Wall Structure: Single wall
 Interior Wall Material: Wood
 Flooring: Pine
 Floor Construction: Wood joist

BATHS

Full Baths	1
Half Baths	0
Add'l Fixt.	2
Total Fixt.	5

BUILDING SKETCH



1-8-6-009-027-0000 Card 4

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RESIDENTIAL BUILDING ADDITIONS

#	1st Story	Area
Main		782.00
B	GARAGE WOOD FRAME BIT/CONC FLOOR	220.00
C	DEDUCT FIXTURES	2.00

BUILDING PERMITS FROM REAL PROPERTY TAX

Date	Number	Amount	Status	Purpose
5/14/2013	723265	\$8,000	Complete	DEMOLITION
5/14/2013	723267	\$150,000		ALTERATION
5/14/2013	723268	\$42,000	Not Inspected	PLUMBING

DEPARTMENT OF PLANNING AND PERMITTING

This data from the Department of Planning and Permitting is unofficial and is subject to change without notice. It is the user's responsibility to verify the accuracy of information from official documents which are available for inspection at the City department responsible for the data.

COUNCIL DIST. EFFECTIVE 2003 2 - ERNEST Y. MARTIN
DEVELOPMENT PLAN AREA NORTH SHORE ORD. 00-15, EFFECTIVE 7/9/2000
DEVELOPMENT PLAN DESIG COMMERCIAL (PUC ONLY; NO PARCEL DESIGNATIONS FOR OTHER DPs)
FLOOD ZONE X - BEYOND 500 YEAR FLOOD PLAIN
HEIGHT LIMIT 25 FEET
HISTORIC SITE REGISTER NO
LOT RESTRICTIONS NONE
NEIGHBORHOOD BOARDS 27 - NORTH SHORE
SMA/Shoreline SPECIAL MANAGEMENT AREA
SPECIAL DISTRICT HALEIWA (SPECIAL DISTRICT)
STATE LAND USE URBAN DISTRICT
STREET SETBACK YES--SEE DTS MAP NS-1. VERIFY WITH TRB 768-8083
ZONING (LUO) B-1 NEIGHBORHOOD BUSINESS DISTRICT

This information has been supplied by third parties and has not been independently verified by Hawaii Information Service and is, therefore, not guaranteed.

ATTACHMENT A

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CITY AND COUNTY OF HONOLULU
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Tax Map Key

Details	Warnings	Building/Sign Permits	Sub Division Permits	Other Permits	Owners	History	Assessments	Str Setbacks	Parcel Info
TMK:		6-6-009:027			POID: 4955				
Historical TMK Sequence:					Tax Pin: 4955				
Area (sq ft):		42471							
Area (acres):		0.975							
Lot Number:									
Ohana:		(None)							

PARCEL INFO

Type	Description
Council District Effective 20032	Ernest Y. Martin
Development Plan Areas	North Shore
Flood Zones	X - Beyond 500 Year Flood Plain
Height Limit	30'
Height Limit	40'
Lot Restriction	None
Neighborhood Boards	27 - NORTH SHORE
SMA	In SMA
SMA	Not in SMA
Slide Area	None
Special Districts	Haleiwa Special District
State Land Use	Urban District
Street Setback	YES-SEE DTS MAP NS-1. VERIFY WITH TRB 768-8083
Zoning (LUO)	B-1 Neighborhood Business District

FACILITIES

Facility Code	Year Built	No. of Floors	Total Floor Area
01 - Single-Family Dwelling1913	1	0	
01 - Single-Family Dwelling1929	1	0	
01 - Single-Family Dwelling1934	1	0	
01 - Single-Family Dwelling1936	1	0	

TMK SEPARATIONS

Activity Code	Census Tract	Census Block
01 - HOUSEHOLD DWELLING9902		4001

Address List:

66-235 - A KAM HWY
66-235 KAM HWY
66-239 - A KAM HWY
66-239 KAM HWY

Submit Cancel

City and County of Honolulu, Department of Planning & Permitting
650 So. King St., Honolulu, HI 96813 • Fax: (808) 768-6743
email: info@honolulu.dpp.org
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CITY AND COUNTY OF HONOLULU
Department of Planning and Permitting (DPP)

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Tax Map Key

Details	Warnings	Building/Sign Permits	Subdivision Permits	Citizen Permits	Owners	History	Assessments	Site Feedbacks	Parcel Info	
Permit Type		Application No.	Permit No.	Description					Status	Created Date Issue Date
Building Permits (PRIM)			018934(HIST)	ROGER BORGES - .RP					Converted	Oct 25, 1973 Oct 25, 1973
Internet Building Permit Application		2011/IBP03524	A2011-04-1084, A2015-09-1471	[TMK: 66009027] Hawaii Juice & Fruit Company - Building Permit					POSSE BP subjob created	Apr 12, 2011 mmm dd, yyyy
Internet Building Permit Application		2013/IBP09154	A2013-08-2522	[TMK: 66009027] 66-239 Kamehameha / Tamba Surf Co. Haleiwa - Building Permit					POSSE BP subjob created	Aug 19, 2013 mmm dd, yyyy
Internet Building Permit Application		2015/IBP04368		[TMK: 66009027] SOUVALY THAI MOBILE LUNCH WAGON - Building Permit					Job closed - no response	Apr 29, 2015 mmm dd, yyyy
Internet Building Permit Application		2015/IBP09105		[TMK: 66009027] Ocean Queen - Sign Permit					Job closed - no response	Aug 27, 2015 mmm dd, yyyy
Internet Building Permit Application		2016/IBP11173		[TMK: 66009027] haleiwa happy market - Sign Permit					Job closed - no response	Oct 28, 2016 mmm dd, yyyy
Internet Building Permit Application		2016/IBP11175		[TMK: 66009027] eco enterprise - haleiwa happy market - Sign Permit					Job closed - no response	Oct 28, 2016 mmm dd, yyyy
Internet Building Permit Application		2016/IBP13517		[TMK: 66009027] haleiwa happy market - Sign Permit					POSSE BP subjob created	Dec 28, 2016 mmm dd, yyyy
Internet Building Permit Application		2017/IBP07516	A2017-08-2137	[TMK: 66009027] Haleiwa happy market - Change of Use Residential to Commercial - Building Permit					POSSE BP subjob created	Jul 3, 2017 mmm dd, yyyy
POSSE Building Permit		A2011-04-1084723267		[BP #723267] [TMK: 66009027] 4/62 Hawaii Juice & Fruit Company -- All. to exist. structure. Change of use from R-3 to R-3/B Occupancy [2011/IBP03524]					Inspection(s) in Progress	Apr 26, 2011 May 14, 2013
POSSE Building Permit		A2011-04-1085723268		[BP #723268] [TMK: 66009027] 4/62 Hawaii Juice & Fruit Company -- Sitework to include irrigation, fence, gates, driveway, new parking area and individual wastewater system.					Inspection(s) in Progress	Apr 26, 2011 May 14, 2013
POSSE Building Permit		A2011-04-1086723265		[BP #723265] [TMK: 66009027] 66-235 A KAM HWY -- Scott Wallace -- Demo exist. single family dwelling.					Inspection(s) in Progress	Apr 26, 2011 May 14, 2013
POSSE Building Permit		A2013-08-2522		[TMK: 66009027] 66-239 Kamehameha / TAMBA SURF CO - Alterations, change of use from R3 dwelling to Retail					Job Cancelled	Aug 30, 2013 mmm dd, yyyy
POSSE Building Permit		A2015-09-1471		[BP #723267] [TMK: 66009027] 4/62 Hawaii Juice & Fruit Company -- All. to exist. structure. Change of use from R-3 to R-3/B Occupancy [2011/IBP03524]					Start	Sep 24, 2015 mmm dd, yyyy
POSSE Building Permit		A2017-08-2137		[TMK: 66009027] Haleiwa happy market - Change of Use Residential to Commercial					Plans review in progress	Aug 25, 2017 mmm dd, yyyy
POSSE Sign Permit		S2017-02-0045		[TMK: 66009027] [TMK: 66009027] 66-239 KAM HWY // Haleiwa Happy Market - New Wall Sign					Printed sign permit application	Feb 23, 2017 mmm dd, yyyy
Submit	Cancel									

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Screen ID: 713949



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Tax Map Key

Details	Warnings	Building/Sign Permits	Subdivision Permits	Other Permits	Owners	History	Assessments	Site Photos	Parcel Info		
 Permit Type		Application No. 2010/SUB-54	Permit No. 2010/SUB-54	Description CONS / Haleiwa-Kamehameha Hwy. / TMK: 6-6-009: 002 & 027					Status Application expired	Created Date Mar 3, 2010	Issue Date mmm dd, yyyy
 Subdivision		2013/SUB-74	2013/SUB-74	CONS / Haleiwa - Kamehameha Hwy. / TMK: 6-6-009:002 & 027					Application expired	May 3, 2013	mmm dd, yyyy
<div>Submit Cancel</div>											

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Tax Map Key

Details	Warnings	Building/Sign Permits	Subdivision Permits	Other Permits	Coments	History	Assessments	Site Setback	Parcel Info
Permit Type		Permit No.		Description		Status		Created Date	Issue Date
Grading Permits		GP2013-03-0155		CEB 2011/CP-90 Hawaii Juice and Fruit Company, Haleiwa		Job closed		Mar 28, 2013	Apr 9, 2013
Notice of Violation		2002/NOV-07-031		HC 66-235 KAM HWY DAMAGED DRIVEWAY		NOV File Closed		Jul 2, 2002	mmm dd, yyyy
Notice of Violation		2013/NOV-10-152		BV 66-239 Kamehameha Hwy.		Draft NOV Reviewed		Oct 21, 2013	mmm dd, yyyy
Notice of Violation		2014/NOV-07-092		EX 66-235 Kam Hwy Illegal Lunch Wagons		NOV File Closed		Jul 14, 2014	mmm dd, yyyy
Notice of Violation		2014/NOV-07-094		66-235 Kam Hwy Illegal Lunchwagon		NOV File Closed		Jul 14, 2014	mmm dd, yyyy
Notice of Violation		2016/NOV-05-004		EX 66-235 Kamehameha Highway - Lunch trailer being stored and there is pavement that encroaches into the front setback area		NOV File Closed		May 2, 2016	mmm dd, yyyy
Notice of Violation		2016/NOV-11-082		EX 66-235 Kamehameha Highway - Lunchwagon business running without Special Design District Permit		NOV File Closed		Nov 16, 2016	mmm dd, yyyy
Notice of Violation		2016/NOV-11-093		EX 66-235 Kamehameha Highway - Juice stand business running without Special Design District Permit		NOV File Closed		Nov 17, 2016	mmm dd, yyyy
Notice of Violation		2016/NOV-12-091		EX 66-235 Kamehameha Highway - Lunchwagon business running without Special Design District Permit		NOV File Closed		Dec 13, 2016	mmm dd, yyyy
Notice of Violation		2016/NOV-12-092		EX 66-235 Kamehameha Highway - Juice stand business running without Special Design District Permit		NOV File Closed		Dec 13, 2016	mmm dd, yyyy
Notice of Violation		2017/NOV-03-095		EX 66-235 Kamehameha Highway - Haleiwa Happy Market has wind signs.		NOV File Closed		Mar 15, 2017	mmm dd, yyyy
Notice of Violation		2017/NOV-04-026		EX 66-235 Kamehameha Highway - Banner sign advertising "For Rent Food Truck Location..."		NOV File Closed		Apr 5, 2017	mmm dd, yyyy
Special District Permit (Minor)		2011/SDD-71		Special District Permit Application - Hawaii Juice & Fruit - Major Exterior Alterations - Haleiwa Check No. 264 (\$100.00)		Rejection letter mailed		Sep 7, 2011	mmm dd, yyyy
Special District Permit (Minor)		2012/SDD-35		Special District (Minor) Permit Application - Hawaii Juice & Fruit - Major Exterior Alterations - Haleiwa Check No. 307 (\$200.00)		Approval letter mailed		Jun 19, 2012	mmm dd, yyyy
Special District Permit (Minor)		2015/SDD-18		Special District Permit (Minor) Application - Souvaly Thai - Lunch Wagon - Haleiwa Check No. 8381 (\$800.00) and No. 628 (\$400.00)		Approval letter mailed		May 27, 2015	mmm dd, yyyy
Special District Permit (Minor)		2015/SDD-7		Special District Permit (Minor) Application - Tombo Surf Co - Major Exterior Alterations - Haleiwa Check No. 2233 (\$800.00) and No. 2232 (\$400.00)		Approval letter mailed		Mar 4, 2015	mmm dd, yyyy
Special District Permit (Minor)		2017/SDD-8		Special District Permit (Minor) Application - Pipeline Pita - Food Truck & Outdoor Dining - 2016/NOV-12-091 - Haleiwa CHECK NO. 122 (\$400.00) AND CHECK NO. 123 (\$800.00)		Approval letter mailed		Jan 23, 2017	mmm dd, yyyy
Special Management Area (Minor SMP)		2012/SMA-27		SMA (Minor) Permit Application - Hawaii Juice & Fruit - Major Exterior Alterations - Haleiwa Check No. 307 (\$200.00)		Approval letter mailed		Jun 19, 2012	mmm dd, yyyy
Surface Encroachment, Driveway, and Sidewalk Variances		SEV2011-04-0036		SEV / 6-6-09:27 / Alan Lee, Fung Associates Inc.		Letter mailed		Apr 26, 2011	Apr 8, 2014
Trenching Permit		TP2013-04-0448		CEB 2011/CP-90 Hawaii Juice and Fruit Company, Haleiwa		Permit closed		Apr 29, 2013	Apr 30, 2013

[Submit](#) [Cancel](#)

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Tax Map Key

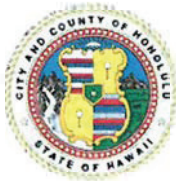
[Details](#) [Violations](#) [Building/Sign Permits](#) [Subdivision Permits](#) [Other Permits](#) **Owners** [History](#) [Assessments](#) [Str Setbacks](#) [Parcel Info](#)

Owner(s):
Fee Owner: HTP LLC Pct: TMK: 66009027 HPR: 0 Address: 3375 KOAPAKA ST F238-6 HONOLULU, HI

[Submit](#) [Cancel](#)

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Tax Map Key

Details	Warnings	Building/Sign Permits	Subdivision Permits	Other Permits	Quizzes	History	Assessments	Site Setbacks	Parcel Info
Description (Summary) TMK: 66009027 HPR: 0000 Seq: 6 Bldg. Value: 280500 Land Value: 2141800 Property [PITT: 1 - Improved Residential] [Area: 42471 SF] [HPR no.] Land Value: 506000 Building Value: 59200									
<input type="button" value="Submit"/> <input type="button" value="Cancel"/>									

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[Permitting](#) [Searching](#) [DPP Home](#) [Sign In](#)

Tax Map Key

[Details](#) [Zoning](#) [Building/Sign Permits](#) [Subdivision Permits](#) [Other Permits](#) [Quotas](#) [History](#) [Assessments](#) [Site Setbacks](#) [Parcel Info](#)

Status:

Street 1: KAMEHAMEHA HWY

Setback 1: VAR

Street 2:

Setback 2:

Radius 2:

Street 3:

Setback 3:

Radius 3:

Street 4:

Setback 4:

Radius 4:

Memo:

[Submit](#) [Cancel](#)

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[Permitting](#) [Searching](#) [DPP Home](#) [Sign In](#)

Tax Map Key

Details	Warning	Building Sign Permits	Subdivision Permits	Other Permits	Comments	History	Assessments	Str Setbacks	Parcel Info
Type	Description								
Council District Effective 20032	Ernest Y. Martin								
Development Plan Areas	North Shore								
Flood Zones	X - Beyond 500 Year Flood Plain								
Height Limit	30'								
Height Limit	40'								
Historic Site Register	None								
Lol Restriction	None								
Neighborhood Boards	27 - NORTH SHORE								
SMA / Shoreline	In SMA								
SMA / Shoreline	Not in SMA								
Slide Area	None								
Special Districts	Haleiwa Special District								
State Land Use	Urban District								
Street Setback	YES--SEE DTS MAP NS-1. VERIFY WITH TRB 768-8083								
Zoning (LUO)	B-1 Neighborhood Business District								
Submit	Cancel								

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BASEMAP: FIRM BASEMAP



Flood Hazard Assessment Report

www.hawaiiinfip.org

Property Information

COUNTY: HONOLULU
 TMK NO: (1) 6-6-009:027
 WATERSHED: PAUKAUIA
 PARCEL ADDRESS: 66-235 KAMEHAMEHA HWY
 HALEIWA, HI 96712

Notes:

Flood Hazard Information

FIRM INDEX DATE: NOVEMBER 05, 2014
 LETTER OF MAP CHANGE(S): NONE
 FEMA FIRM PANEL: 15003C0105H
 PANEL EFFECTIVE DATE: JANUARY 19, 2011

THIS PROPERTY IS WITHIN A TSUNAMI EVACUTION ZONE: YES
 FOR MORE INFO, VISIT: <http://www.scd.hawaii.gov/>

THIS PROPERTY IS WITHIN A DAM EVACUATION ZONE: YES (OA-0017)
 FOR MORE INFO, VISIT: <http://dlnr.hawaii.gov/dam/>



0 40 80 ft

Disclaimer: The Hawaii Department of Land and Natural Resources (DLNR) assumes no responsibility arising from the use, accuracy, completeness, and timeliness of any information contained in this report. Viewers/Users are responsible for verifying the accuracy of the information and agree to indemnify the DLNR, its officers, and employees from any liability which may arise from its use of its data or information.

If this map has been identified as 'PRELIMINARY', please note that it is being provided for informational purposes and is not to be used for flood insurance rating. Contact your county floodplain manager for flood zone determinations to be used for compliance with local floodplain management regulations.

FLOOD HAZARD ASSESSMENT TOOL LAYER LEGEND

(Note: legend does not correspond with NFHL)

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD - The 1% annual chance flood (100-year), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. SFHAs include Zone A, AE, AH, AO, V, and VE. The Base Flood Elevation (BFE) is the water surface elevation of the 1% annual chance flood. Mandatory flood insurance purchase applies in these zones:

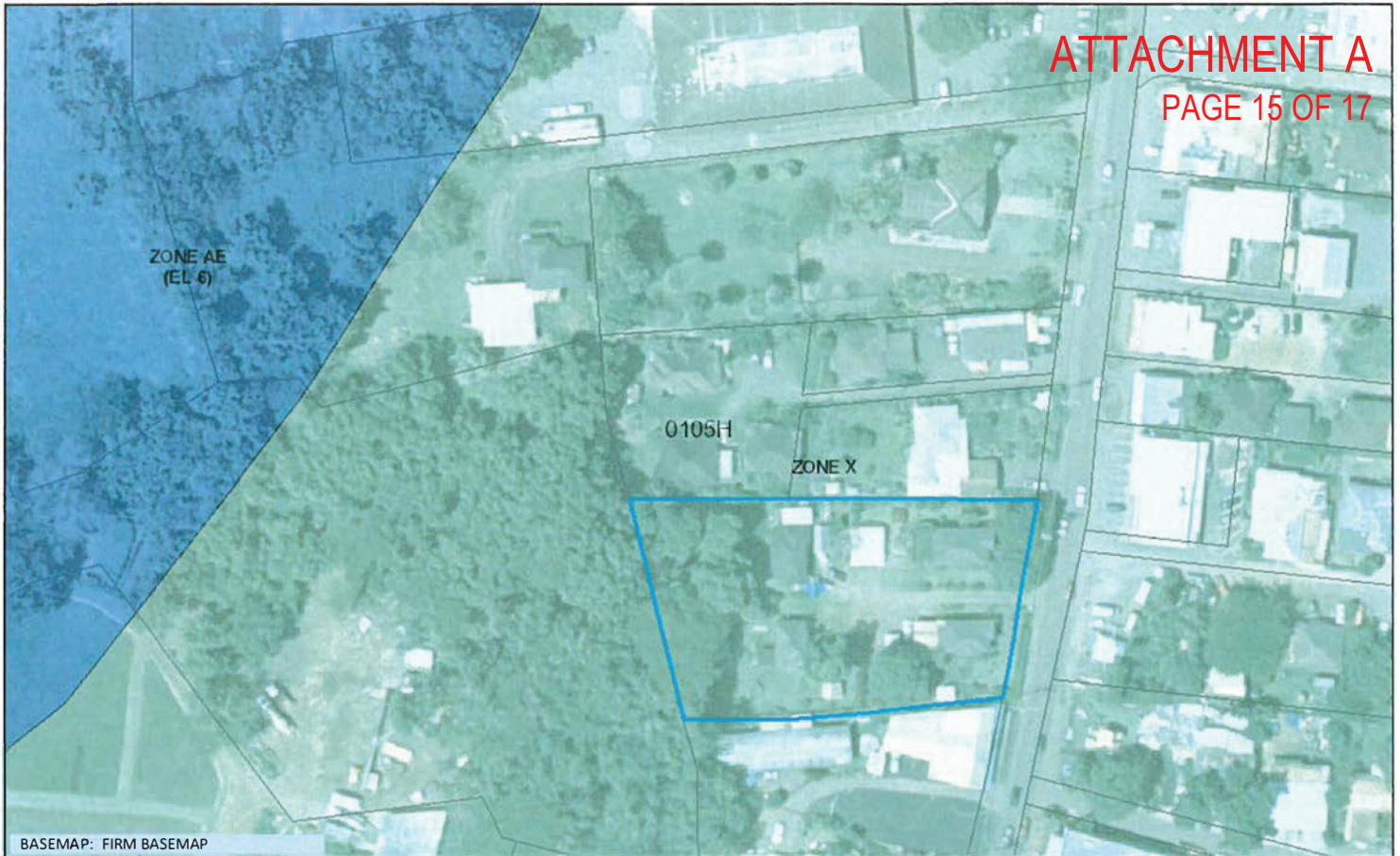
	Zone A: No BFE determined.
	Zone AE: BFE determined.
	Zone AH: Flood depths of 1 to 3 feet (usually areas of ponding); BFE determined.
	Zone AO: Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined.
	Zone V: Coastal flood zone with velocity hazard (wave action); no BFE determined.
	Zone VE: Coastal flood zone with velocity hazard (wave action); BFE determined.
	Zone AEF: Floodway areas in Zone AE. The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without increasing the BFE.

NON-SPECIAL FLOOD HAZARD AREA - An area in a low-to-moderate risk flood zone. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

	Zone X5 (X shaded): Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
	Zone X: Areas determined to be outside the 0.2% annual chance floodplain.

OTHER FLOOD AREAS

	Zone D: Unstudied areas where flood hazards are undetermined, but flooding is possible. No mandatory flood insurance purchase applies, but coverage is available in participating communities.
--	---



Flood Hazard Assessment Report

www.hawaiiifip.org

Property Information

COUNTY: HONOLULU
TMK NO: (1) 6-6-009:027
WATERSHED: PAUKAULA
PARCEL ADDRESS: 66-235 KAMEHAMEHA HWY
HALEIWA, HI 96712

Notes:

Flood Hazard Information

FIRM INDEX DATE: NOVEMBER 05, 2014
LETTER OF MAP CHANGE(S): NONE
FEMA FIRM PANEL: 15003C0105H
PANEL EFFECTIVE DATE: JANUARY 19, 2011

THIS PROPERTY IS WITHIN A TSUNAMI EVACUATION ZONE: YES
FOR MORE INFO, VISIT: <http://www.scd.hawaii.gov/>

THIS PROPERTY IS WITHIN A DAM EVACUATION ZONE: YES (OA-0017)
FOR MORE INFO, VISIT: <http://dlnreng.hawaii.gov/dam/>



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	Zone AO: Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined.
	Zone V: Coastal flood zone with velocity hazard (wave action); no BFE determined.
	Zone VE: Coastal flood zone with velocity hazard (wave action); BFE determined.
	Zone AEF: Floodway areas in Zone AE. The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without increasing the BFE.

NON-SPECIAL FLOOD HAZARD AREA - An area in a low-to-moderate risk flood zone. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

	Zone XS (X shaded): Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
	Zone X: Areas determined to be outside the 0.2% annual chance floodplain.

OTHER FLOOD AREAS

	Zone D: Unstudied areas where flood hazards are undetermined, but flooding is possible. No mandatory flood insurance purchase applies, but coverage is available in participating communities.
--	--



City & County of Honolulu

Department of Planning & Permitting (DPP)

Property Information

66-235 A KAM HWY

Tuesday, October 24, 2017 | 4:08:27 PM

General Information

TMK: 66009027:0000
 Building Value: \$280,500.00
 Building Exemption: \$0.00
 Land Value: \$2,141,800.00
 Land Exempt: \$0.00
 Acres: 1
 Square Feet: 0
Property Tax Class: Commercial
 City: Haleiwa
 Zip Code: 96712
 Realtor Neighborhood: Haleiwa

Nearest Park: Haleiwa Alii Beach Park

[show route](#)[show all addresses >>](#)

Tax Bill Owner Information

Name	Type	Address	Address 2	City State Zip
HTP LLC	Fee Owner	3375 KOAPAKA ST STE F238-6		HONOLULU HI 96819

2010 Census Information

Tract Number: 009902
 Block Number: 4001
 Population (block): 647

Voting Information

City Council Member: Ernest Y. Martin
 Polling Place: Haleiwa Elem Sch
 Address: 66-505 Haleiwa Rd
 Neighborhood Board: NORTH SHORE

School and Transit Information

Elementary School: Haleiwa [show route](#)
 High School: WAIALUA [show route](#)
 Near Transit Route: Yes
 Near Bus Routes: 52, 55, 76, 83, 88A

Zoning and Flood Information

Zoning (LUO) Designation: B-1
 Ohana Zoning Designation: Eligible
 FEMA Flood Designation: X
 Tsunami Evacuation Zone: Yes

[more public safety info >>](#)Page Tools: [PRINT](#) | [BOOKMARK](#) | [EMAIL](#) | [STREET/BIRD'S EYE](#)More info: [ZONE INFO](#) | [BUILDING PERMITS](#) | [PROPERTY TAX](#)

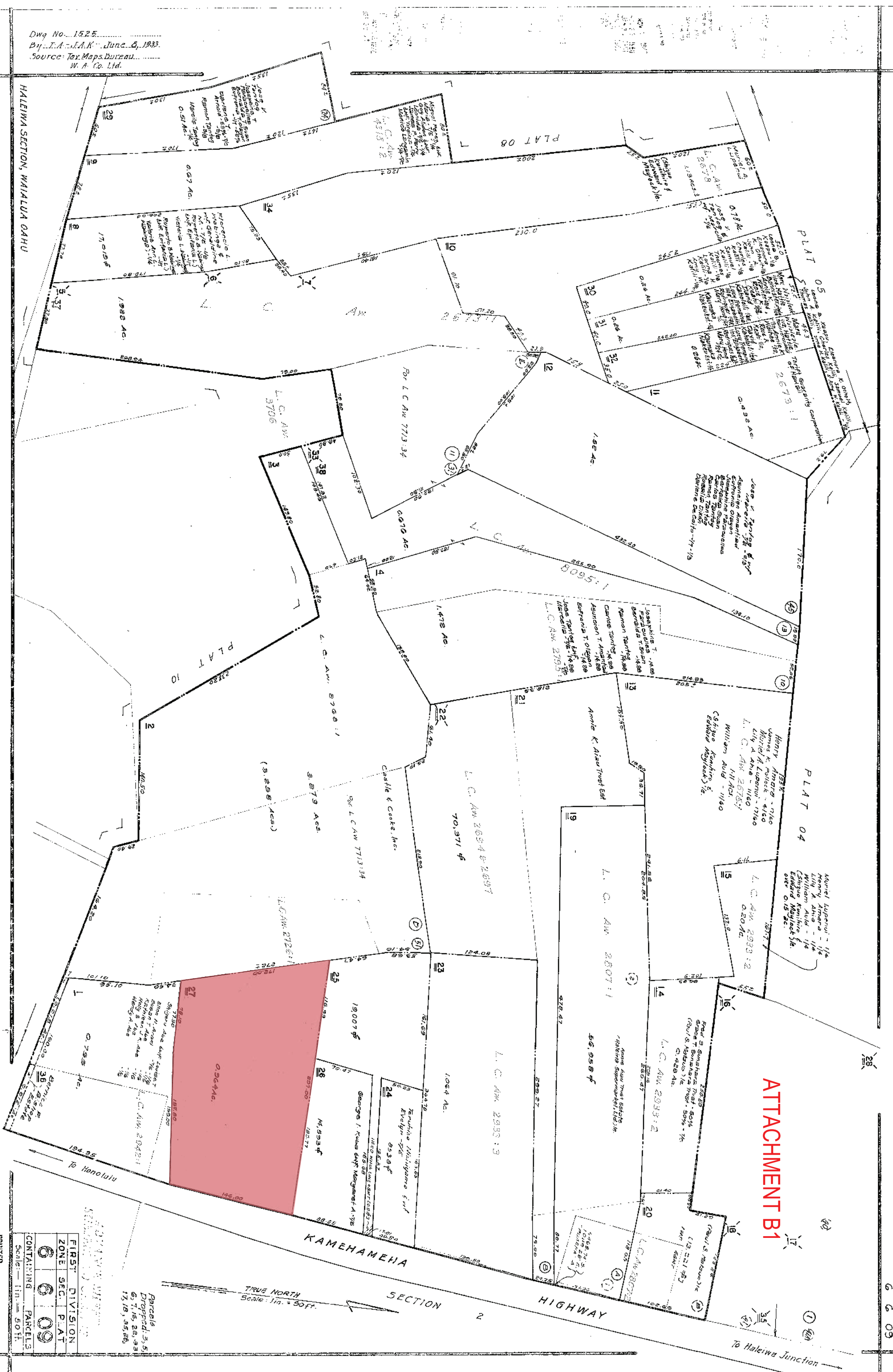
Information shown on these maps are derived from public records that are constantly undergoing change and do not replace a site survey, and is not warranted for content or accuracy.

2010 Assessed Values as of October 1, 2009.

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 650 S. King St, Ste 8, Honolulu, HI 96813
gis@honolulu.gov
[Property Info Page FAQ](#)

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HALEIWA SECTION, WAIALUA OAHU



ATTACHMENT B1

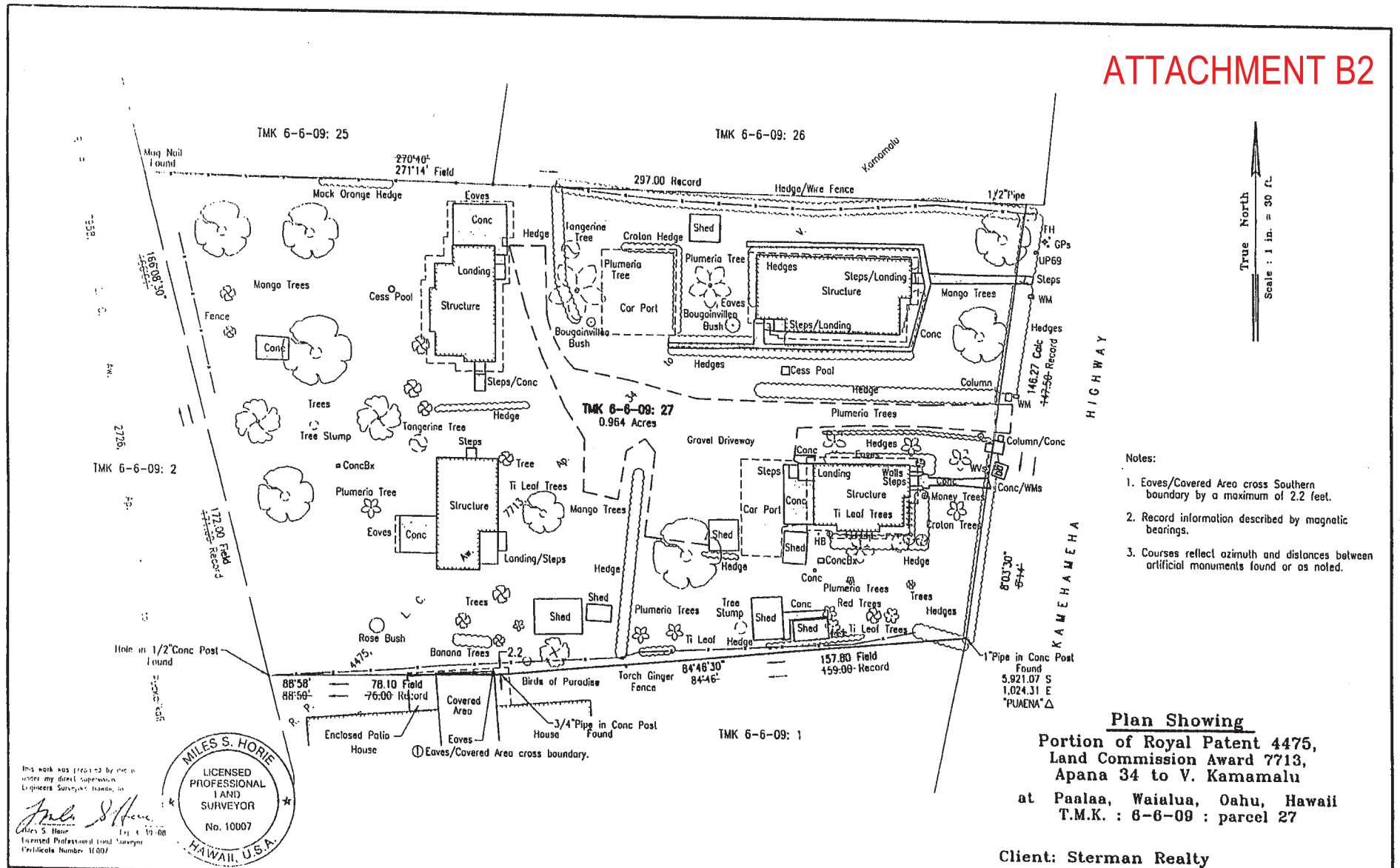
၈၈၀

Parcels
Dropped: 3, 5,
6, 7, 15, 22, 33
17, 18, 35, 38,

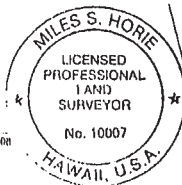
FIRST	DIVISION
ZONE	SEC. PLAT
6	6 09
CONTAINING PARCELS	
Scale:— 1 in. = 50 ft.	

APPENDIX

ATTACHMENT B2



This work was prepared by me in
 under my direct supervision.
 Engineers Surveyors Name, in
Miles S. Horie
 Miles S. Horie
 Licensed Professional Land Surveyor
 Certificate Number 31007



Honolulu, Hawaii
 FB: 1551 and 1554
 57-19

ENGINEERS SURVEYORS HAWAII, INC.
 CIVIL ENGINEERS ~ LAND SURVEYORS ~ CONSTRUCTION MANAGERS

900 Halekauwila Street
 February 28, 2007

Special District Design Guidelines

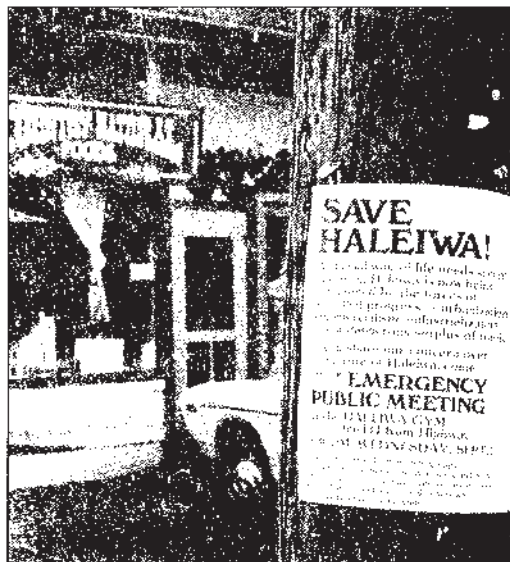


Haleiwa

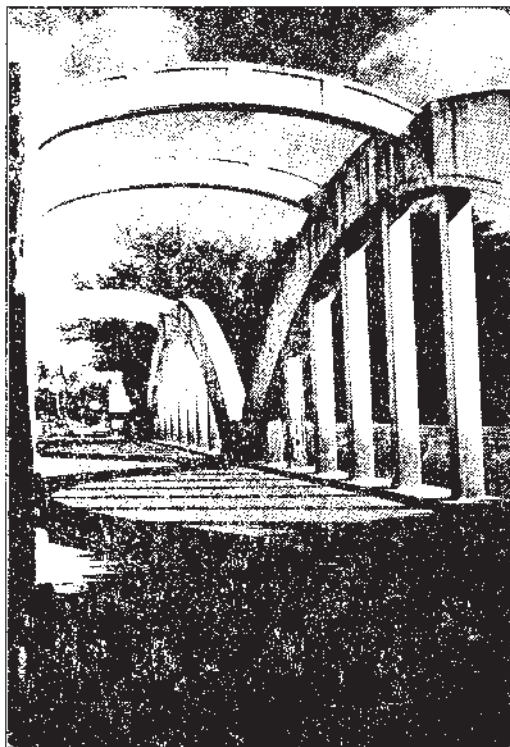
**Department of Land Utilization
City and County of Honolulu
April 1991**

Index

Introduction	2
District Objectives	3
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District Map	5
Historic Structures and Significant Sites	6
Site Planning	8
Heights	9
Architectural Character	
Roof Forms and Parapet	10
Facade Treatment	11
Doors and Windows	12
Attic Vents	12
Porches, Canopies and Roll-Up Shades	13
Materials and Color	14
Paving	15
Railings and Fences	15
Mechanical Equipment	16
Lighting	17
Signs	18
Exterior Furniture	19
Landscaping	20
Parking	22
Public Improvement	23



Public Concern



Anahulu Bridge

Introduction

Established in the late 1800's, Haleiwa Town retains a commercial setting typical of a rural plantation town, and is therefore an integral and important part of Hawaii's history. Haleiwa's designation as a Special District on May 1, 1984 was intended to perpetuate and enhance the rural character of the existing community, by ensuring that all new development be compatible in design.

Community efforts to maintain this character are evidenced by remodeling and new construction which retains the early period building heights and design features, as well the creation of the Haleiwa Main Street Program in September 1989.



New Haleiwa Shopping Center



Anahulu Stream



Ishimoto Store

District Objectives

In order to preserve and enhance the rural character of Haleiwa, the following objectives are stated in the City and County's zoning code, the Land Use Ordinance (LUO):

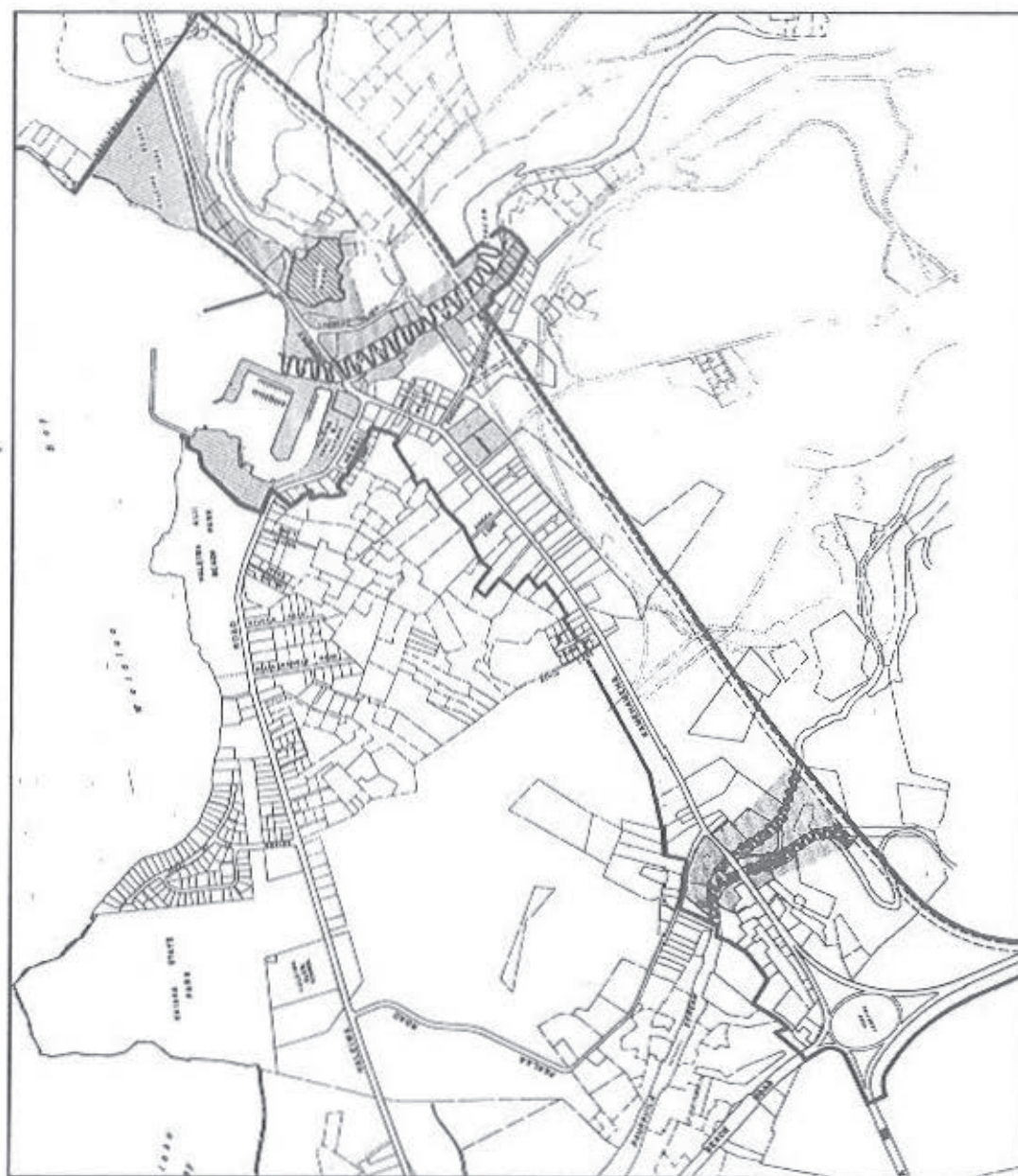
- A. Preserve and enhance Haleiwa's existing rural low-rise, human-scaled form and character, especially along Kamehameha Highway and Haleiwa Road.
- B. Preserve and restore to the extent possible buildings and sites of scenic, historic, cultural, and/or architectural significance, and encourage new development which is compatible with and complements those buildings and sites, primarily through low building heights, appropriate period design features, and subdued materials.
- C. As entry points to Haleiwa, Weed Junction and Anahulu Bridge should be given special attention through landscaping and painting embellishment, respectively.
- D. Encourage new development which will complement the significant physical features, waterways, open space, mature trees, and sites in Haleiwa.
- E. Retain a distinctive pedestrian oriented commercial area for residents and visitors.
- F. Provide for safe and pleasant pedestrian and vehicular circulation, while avoiding parking areas along the streetscape.
- G. Enhance the attractiveness and general landscaped open space character of the area.
- H. Preserve and enhance significant views in Haleiwa, especially those within the highly developed and heavily traveled areas.
- I. Provide public improvements such as roadways, street lights, street furniture, and signage compatible with the rural character of the community, rather than at conventional urban standards.

Aerial Photo



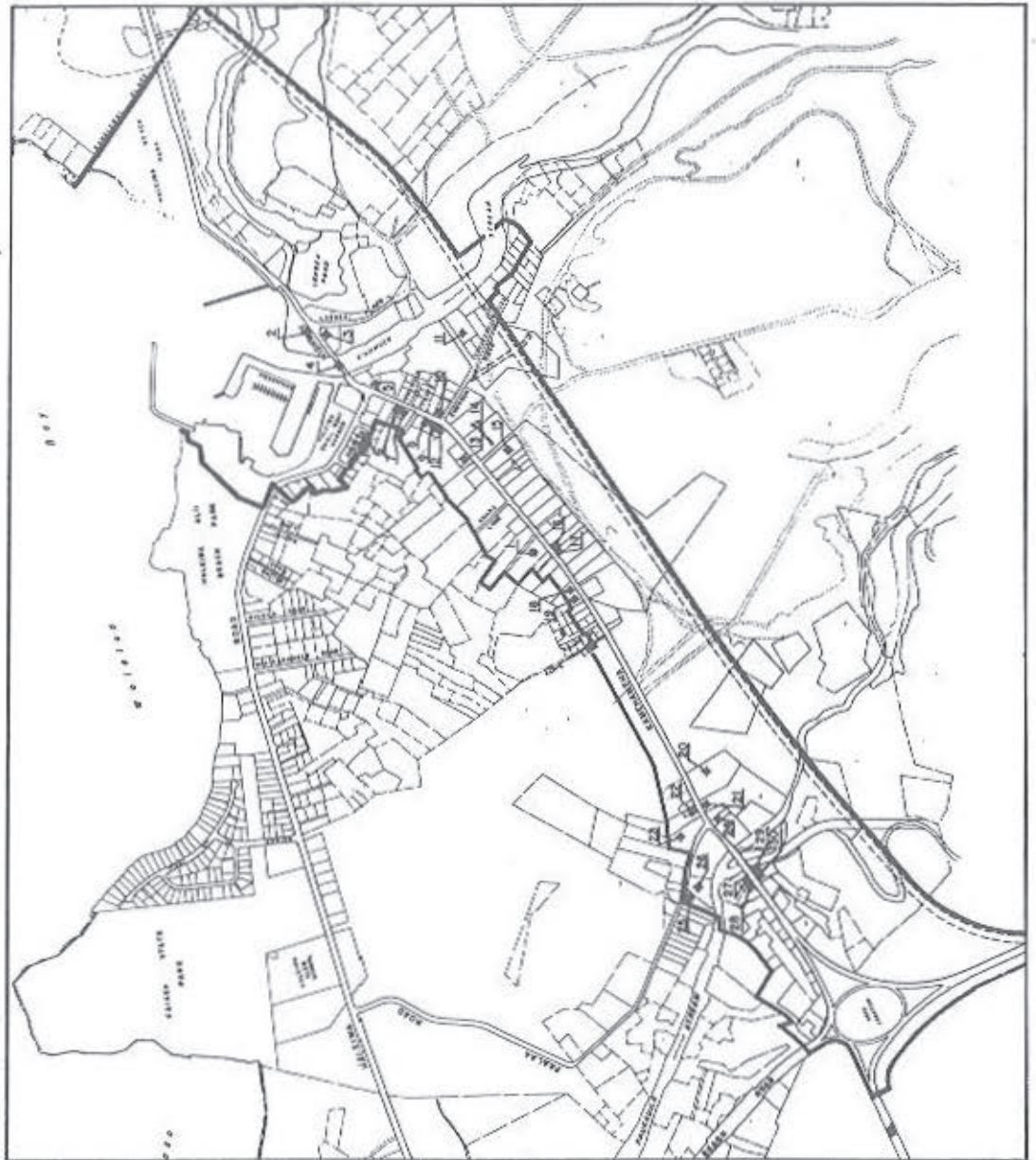
Haleiwa Special District

District Map



District Map indicating significant natural and man-made features, and Special Management Area (SMA) boundary.

Historic Structures and Significant Sites



Legend:

Structures on State Historic Register

1 Waialua Court House 6-6-09: 23

Structures on Inventory for State Historic Register within Boundary

2 Surf & Sea/Gallery/Windsurf 6-2-03: 39
 3 Lantaka Store 6-2-03: 36
 4 Anahulu Bridge
 5 Fettig Art Gallery 6-2-12: 29
 6 Old Fettig Art Gallery 6-6-01: 29

7	H. Miura Store	6-6-01: 01
8	Yoshida Store (North)	6-6-04: 15
9	Yoshida Store (South)	6-6-04: 15
10	High Performance Kites/ Gallery Haleiwa	6-2-12: 34
11	Old Adobe House (Emerson Road)	6-2-12: 10
12	Matsumoto Grocery	6-6-04: 16
13	Aoki Shave Ice	6-6-04: 18
14	The 'Iwa Gallery	6-6-04: 18
15	Old Telephone Exchange	6-2-05: 08
16	Surf & Sail/Kua Aina	6-2-05: 15
17	One Hour Photo/ Naughty Nuff	6-2-05: 20
18	Haleiwa Acupuncture Clinic/ Oogenesis/Boutique/ Race Hawaii	6-6-09: 01
19	Haleiwa Flower Shop	6-6-09: 01
20	Waialua Community Center	6-2-06: 13
21	Kaala Art/Cafe Haleiwa/ Mazie's Beauty Salon	6-2-06: 12
22	Celestial Natural Foods/ Barber Shop	6-6-17: 31
23	Country Foreign Car Parts	6-2-06: 18
24	Old Hirota Store (vacant)	6-6-17: 12
25	Waialua Shingon Mission	6-6-17: 01
26	Alamuki Bridge	
27	Raising Cane	6-6-18: 20
28	No Name	6-2-07: 20
29	Ishimoto Store	6-2-07: 20
30	Fujioka's Supermarket	6-2-05: 08

Note: Building names for reference only,
subject to change. Tax map key governs.



Waialua Shingon Mission

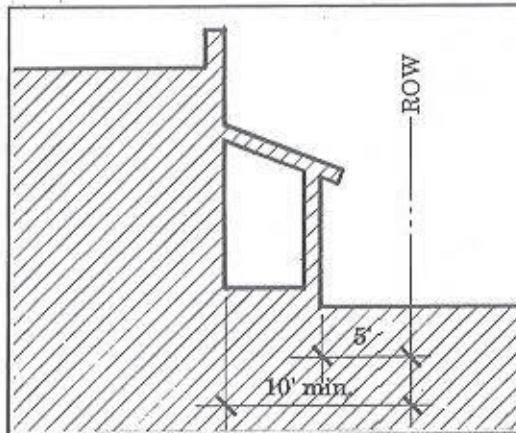


Fettig Art Gallery



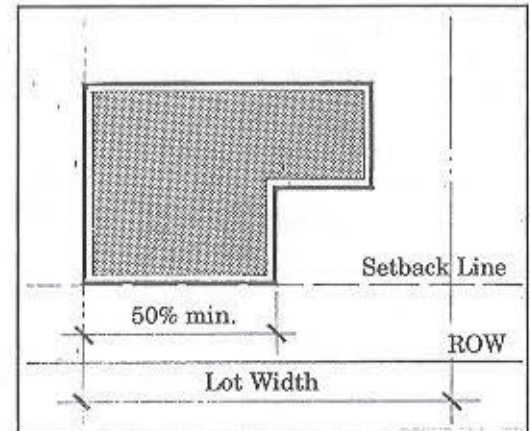
Yoshida Building

Site Planning



Front Yard Setback

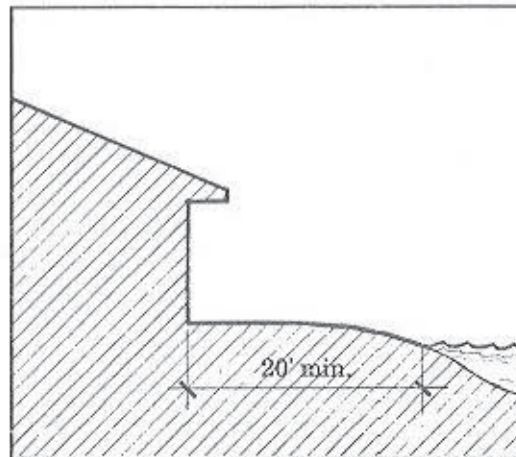
A 10-foot front yard setback is required on all lots to provide adequate planting area for street trees. An incentive for porches and canopies at the ground floor level is provided by permitting them to encroach 5 feet into the front yard setback.



Building Frontage Along Setback

In order to maintain the alignment of buildings along the street, at least 50 percent of the building frontage of new structures, except for service stations, must be located at the front yard setback line.

An exception to allow greater setback may be considered if the location of the project site is away from pedestrian traffic or no other alternative exists due to topography or vehicular access conditions.



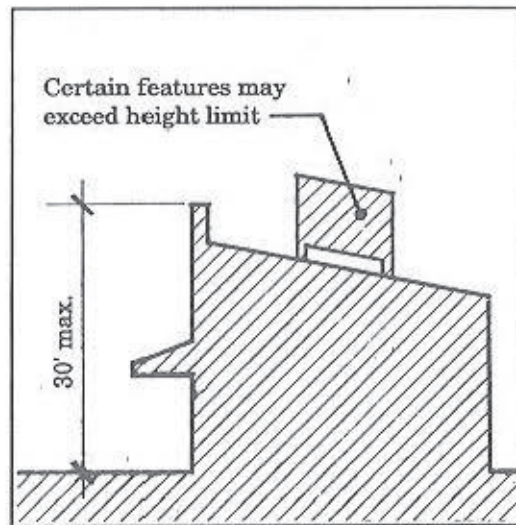
Waterfront Setback

Preservation of natural vegetation along waterways is encouraged by a minimum 20-foot setback from the water's edge.

Heights

The height limit for all structures in the Commercial and Industrial zoned districts is 30 feet. In the Residential and Preservation zoned districts, the lower height limit of the respective zoning district prevails. This is intended to retain the low-rise rural character of the area and to prevent the obstruction of distant views.

Exception to these height limits for certain architectural, mechanical and utilitarian features may be considered when consistent with the objectives of the District.



*Commercial and Industrial Zoned
Height Limits*



Haleiwa Small Boat Harbor

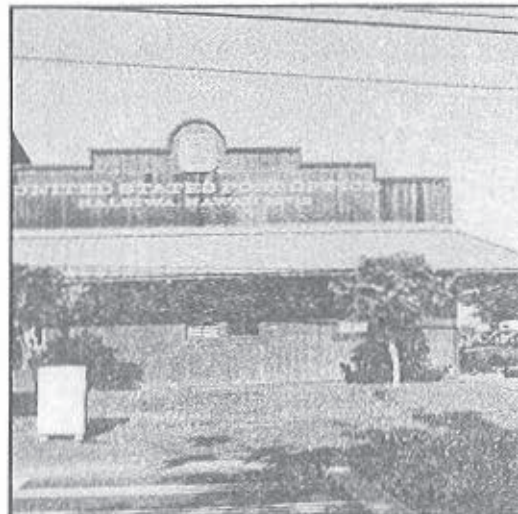
Architectural Character

The architectural treatment given to building design and individual building elements, such as canopies, doors and windows in the rehabilitation of existing buildings and the construction of new buildings should be compatible with the period architecture found in Haleiwa. Design guidelines for building scale, proportions, character, and specific building features are described in this section.

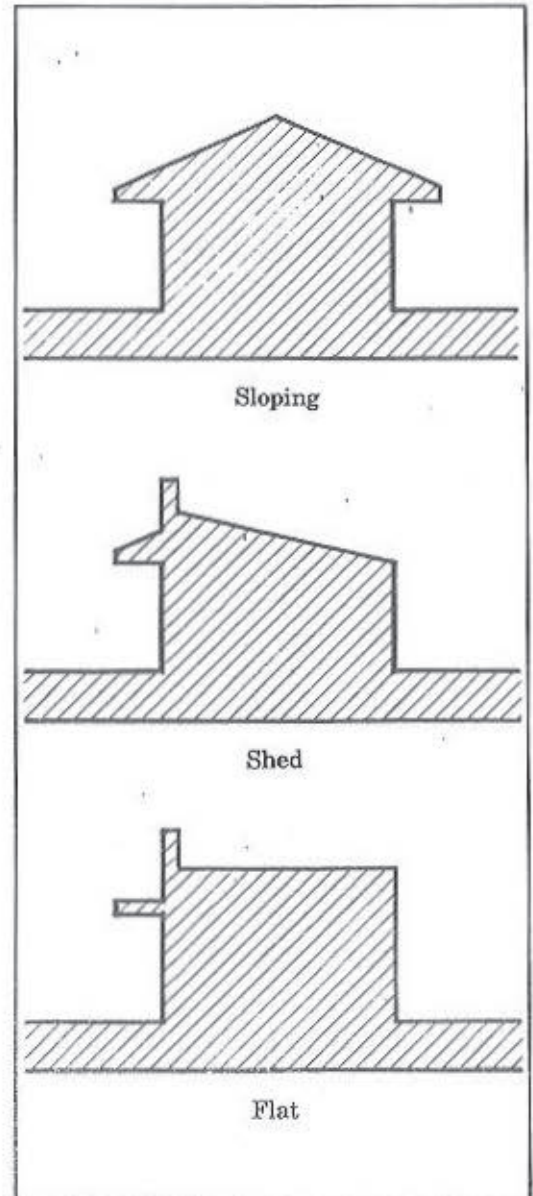
Roof Forms and Parapets

Roof forms may be either sloping, shed or flat in combination with decorative parapets and false fronts. Highly reflective roof materials are discouraged, and roof colors should be subdued earth-tones.

Flat roofs without parapets are not permitted, except when not visible from Kamehameha Highway.



U.S. Post Office

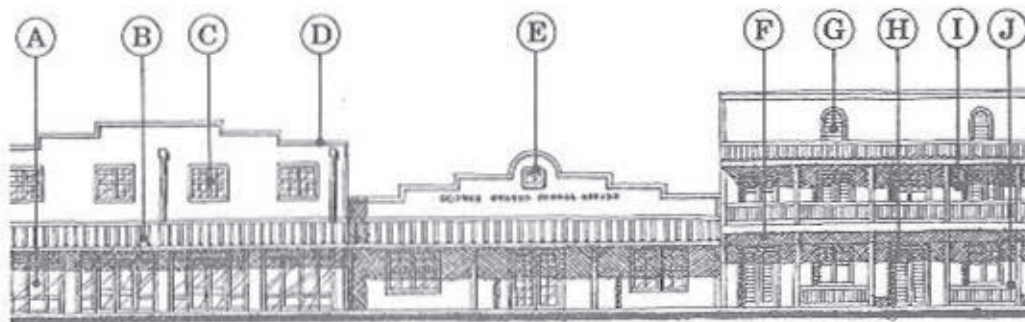


Roof Types

Facade Treatment

The design of new buildings and renovation work should utilize building elements which are typical of the early 1900 period architecture found in Haleiwa. Below are the major design elements of typical building facades.

- | | |
|---|--|
| A. Large window sections at ground level;
large solid surface areas lack visual interest | E. Appropriate signs and symbols
on parapet |
| B. Canopy awning; canopies should be
pitched or integrated as a second-story porch | F. Roll-up shade |
| C. Smaller windows at upper floor | G. Attic vents |
| D. Cornice lines and coping to add visual
interest and shadow lines | H. Ground level porch |
| | I. Upper level porch |
| | J. Wood railings |

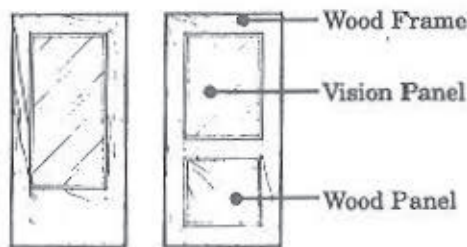


Design Elements of Typical Building Facades

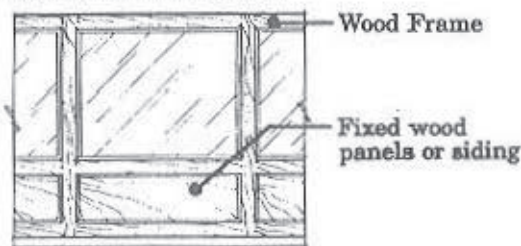
Doors and Windows

Doors and windows found on existing period buildings in Haleiwa are of varied shapes and sizes, and do not follow any particular design style. Windows and doors, however, should be rural in character with clear glazing. Tinted windows are not permitted. Wood frame doors and windows are encouraged. Aluminum doors, metal door frames and windows may be used, provided that clear, or shiny, or brightly colored finishes are not used, and their location and design are consistent with the objectives of the District.

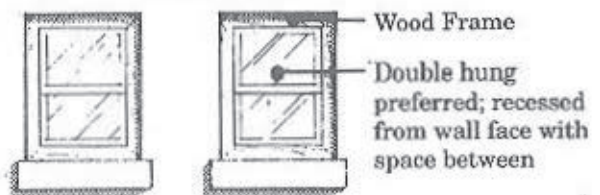
Doors



Lower Level Windows



Upper Level Windows



Note: On new buildings when there is no adverse visual impact, dark anodized or painted metal may be substituted for wood.

Attic Vents

Attic vents were traditionally found on building facades, usually in conjunction with parapets. Though utilitarian in nature, they were also treated as decorative building elements. Attic vents are encouraged as an integral element of building designs.



Wood frames and louvers

Porches, Canopies and Roll-Up Shades

Porches, canopies and roll-up shades are typical of the existing commercial buildings found in Haleiwa. They provide sun control, contribute to the pedestrian scale and informal ambience of the District, and are encouraged. In addition, porches will often have tables or benches for the convenience of customers or passers-by. Traditional porches and canopies were wood framed, with wood or metal roofs. Canvas and glass canopies are generally not appropriate, and may only be permitted where their location and design do not conflict with the objectives of the District.



Materials and Colors

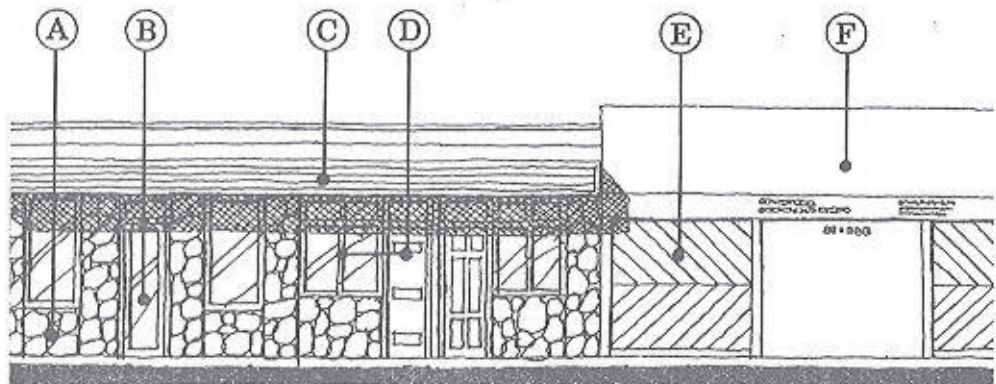
Building finishes should be of traditional materials found on period buildings, such as wood, coral, plaster, and lava rock. Wall materials should be subdued, and selected to weather and mature with time and exposure. If concrete is used, it should be finished with exposed aggregates or wood impressions.

Materials such as wood should be used in the traditional manner found in the District. Wood siding should be either vertical or horizontally layed board-and-batten or board-on-board patterns. Diagonal patterns should not be used.

Colors for all materials should be natural or earth tones in subdued ranges and combinations. Reflective or iridescent colors should not be used.

Decorative elements, such as parapet cornices, window elements, attic vents and trim may be painted in accent colors to highlight their importance.

- A. Exterior stone walls should be left natural and unpainted.
- B. Aluminum glass doors are not recommended; wood panelled glass doors are more appropriate.
- C. Large areas of bright paint colors are inappropriate; bright colors should be used for accent and decorative elements only.
- D. Light colored metal door and window frames are inappropriate; wood or dark anodized aluminum frames should be used.
- E. Do not use diagonal pattern wood siding; horizontal or vertical siding is recommended.
- F. Large areas of solid material lack visual interest, and should be avoided along street fronts.

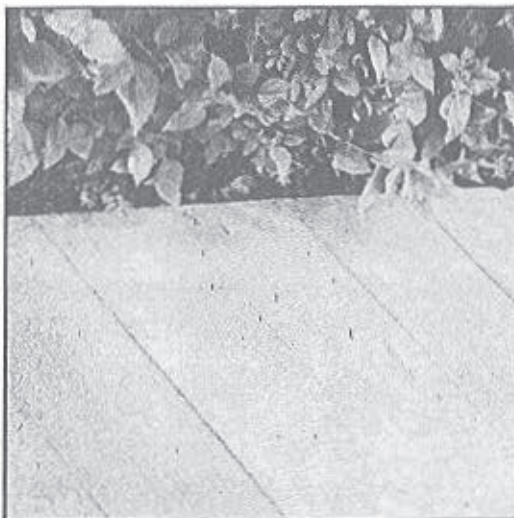


Use of Materials and Colors

Paving

Walkways and sidewalk material for commercial and large residential projects should be in keeping with the stone and wood plank walkways originally found in the District.

In particular, wood impressed concrete walkways are encouraged to simulate the visual appearance, texture and feel of the old boardwalks. This desired finish can be achieved by sandblasting wood boards to articulate the wood grain, and then pressing the treated boards to leave an imprint in the concrete before it has set. Examples of this concrete finish can be seen at the City and County bus stops and the Haleiwa McDonald's.



Wood Impressed Concrete

Railings and Fences

Decorative wood railings and fences add further refinement of detail and ambience to the District, and their continued use is encouraged. Exposed aluminum railings, especially those with clear or bright finishes, and chain-link fences are discouraged.

Front yard fences and walls exceeding 36 inches in height must be set back a minimum of 18 inches along Kamehameha Highway and Haleiwa Road, and landscaped with a vine or hedge on the street side.

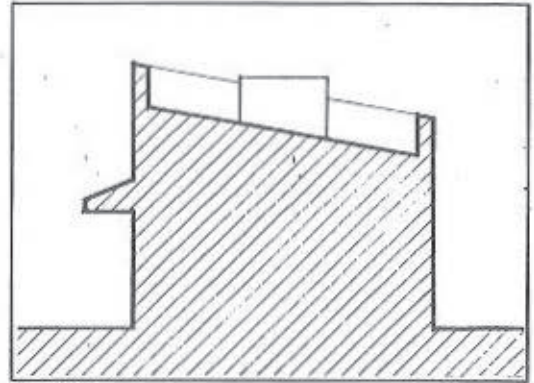


Wood Railing with Decorative Balusters

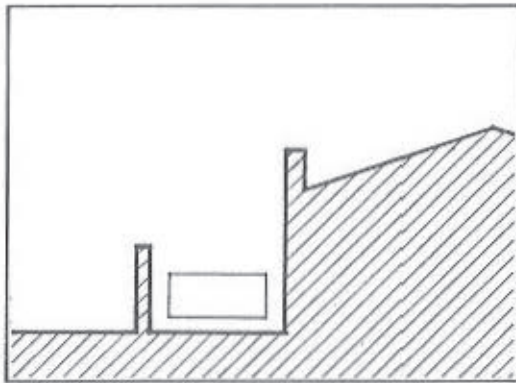
Mechanical Equipment

Mechanical and communications equipment, such as air conditioning systems and dish antennas, are not rural in character and must be screened from public views.

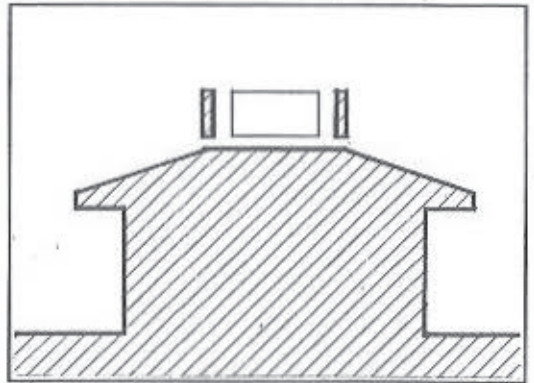
Window air conditioning units, if necessary, should be located at the rear of buildings and concealed as a decorative element, such as a planter box, or hidden underneath a canopy overhang.



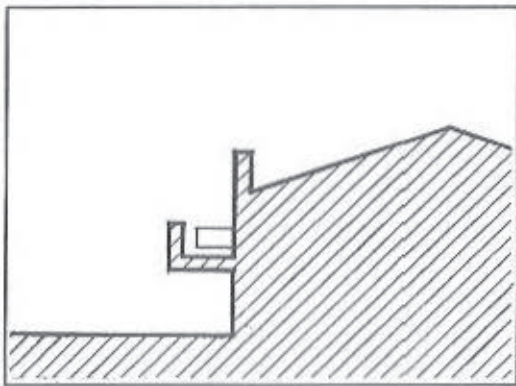
Roof Parapet



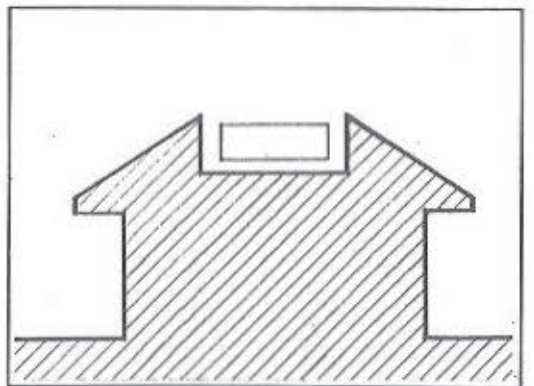
Screening at Ground Level



Mechanical Enclosure



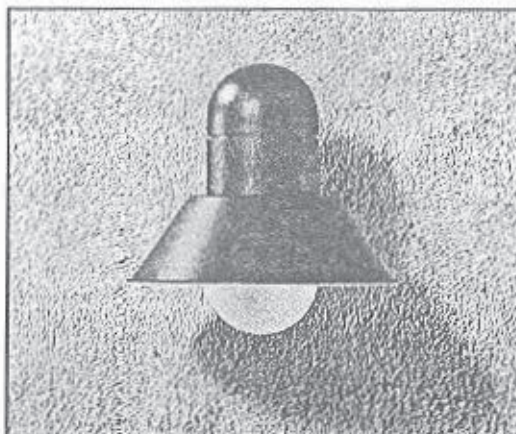
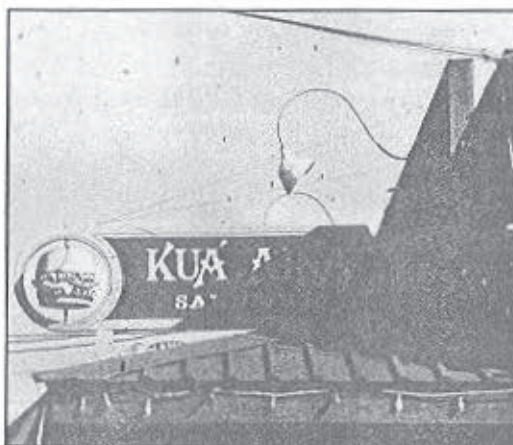
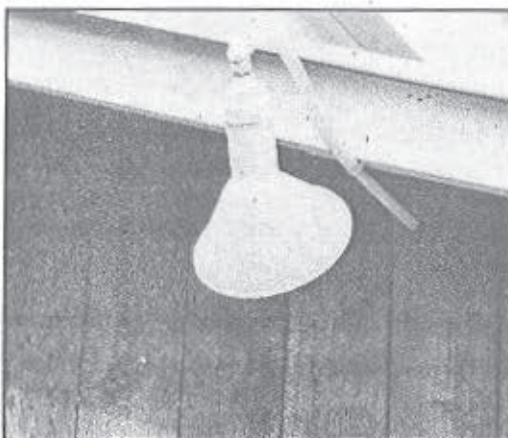
Screened Window AC Unit



Recessed Roof Top

Lighting

Lighting should be subdued so as not to detract from the building and street-scape. Lighting fixtures should be similar in style and detail to period fixtures. Incandescent light fixtures are highly encouraged. High intensity light sources, such as sodium and fluorescent lamps should not be used.



Appropriate Period-Style Light Fixtures.

Signs

Signs identify or advertise a place of business and function as attention-getting devices. They have significant visual impact on the character of the District. Signs should be designed to enhance the historic and architectural character of Haleiwa. Wood signs, cut, sandblasted, or hand painted, using serif style lettering typical of the early 1900's are most appropriate and are encouraged. Signs may be hung from canopies, mounted on building walls and attached to wood or wood covered metal posts. Pole-mounted signs may not exceed 10 feet in overall height.

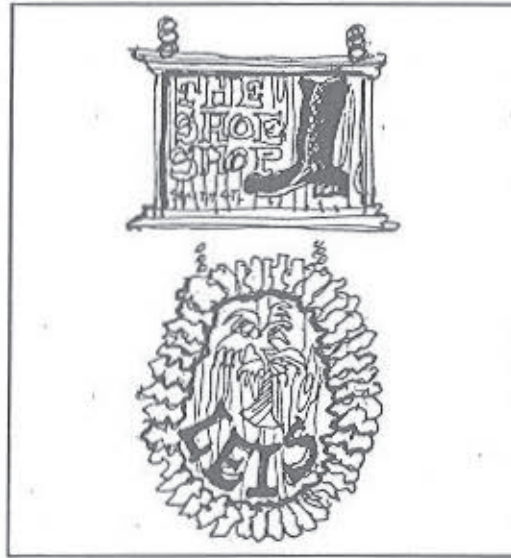
Illumination should be indirect from detached light sources, and shielded are internally illuminated, or with moving parts, luminous paints or reflective materials are not permitted.



Appropriate sign letter style and materials.

Signs:

- Wood carved or sandblasted signs with decorative edge.
- No plastic or backlit or moving lighted signs.
- Serif-style lettering.
- Appropriately scaled symbols may be used.
- Illumination shall be detached, low intensity sources.



Exterior Furniture

Exterior furniture, such as benches, tables, chairs, umbrellas and trash receptacles should be designed to enhance the rural character of the District. Plastic or furnishings with solid, smooth skin surfaces should be avoided.



Landscaping

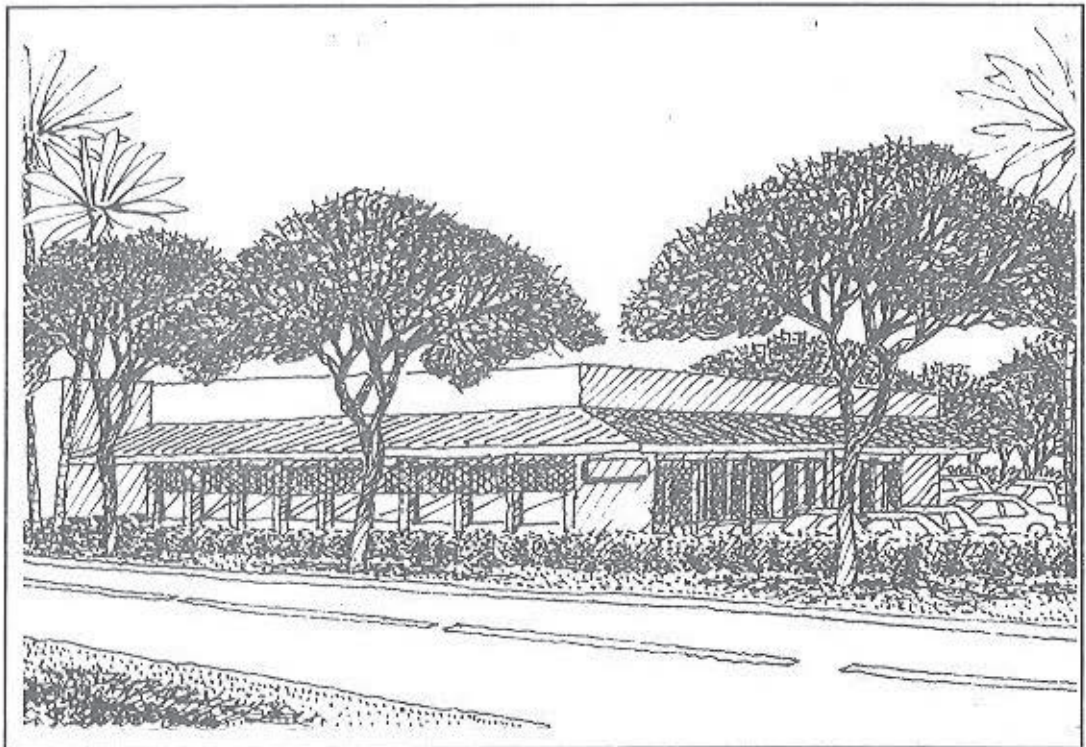
All front yard setbacks and parking areas are required to be landscaped with trees and other plant material. Generally, existing trees, six inches or greater in trunk diameter, are required to be preserved or transplanted.

Street trees are to be selected for all new development from the tree list on the following page. These trees shall be a minimum of two-inch caliper and spaced a maximum of 30 feet on center, and placed so that they frame significant views and screen incompat-

ible structures along Kamehameha Highway.

Landscape buffering should be provided for commercial uses where they abut residential uses.

Open parking areas should be screened from views from the street and adjacent properties with walls, hedges and/or earth berms, a minimum of 48" high. Lower heights may be permitted to allow driveway entrances and intersections to comply with required traffic sight distances.



Street Trees -- successful use of landscaping to screen parking lot and maintain rural street character.

Acceptable Street Trees

African Mimusops
Madagascar Olive*
Autograph*
Mahogany
Coconut*
Milo*
Diphysa
Mock Orange**
False Olive**
Moir's Pink
Tecoma
Fern Tree
Monkeypod*
Fig Species*
Pink Tecoma
Giant Crape Myrtle
Rainbow Shower
Gold Tree
Royal Palm

Golden Rain Tree
Royal Poinciana
Golden Trumpet
Silver Buttonwood*
Haole Kou**
Silver Trumpet
Hong Kong Orchid
Tamarind
Indian Coral*
True Kamani
Jack-in-the-Box*
True Kou*
Lignum Vitae*
Wiliwili*
Loulou Palm**

* *Salt tolerant*

** *Partially salt tolerant*

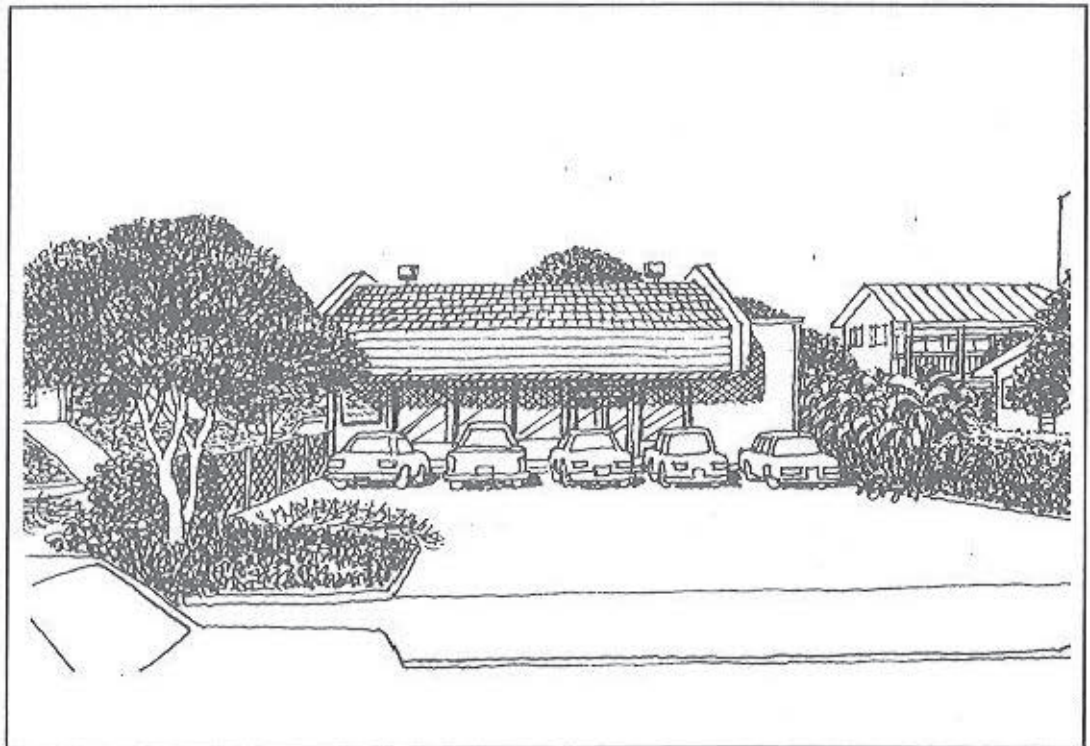


Large canopy form trees, such as the Monkey pod, are characteristic of existing trees in the District.

Parking

To enhance pedestrian oriented commercial activities and to maintain the continuity of the street, off-street parking for cars and loading areas is required to be located at the side and rear of buildings. Exceptions may be made if the location of the project site is away from pedestrian traffic or no other alternative exists due to topography or vehicular access conditions.

Open parking lots must be landscaped and buffered from public view.



Inappropriate Parking Location. Open parking lots along the street discourage pedestrian activity and interrupts the continuity of the streetscape. Off-street parking should be located at the side and rear of buildings.

Public Improvements

All public improvements within the District should conform with the intent and objectives of the District. Prior, a major constraint to maintaining many of the older buildings had been a planned right-of-way width of 60 feet for Kamehameha Highway. However, due to the proposed Haleiwa State by-pass road, Kamehameha Highway through Haleiwa was reduced from 60 feet to 50 feet. Thus, most of the older buildings are now outside the right-of-way.

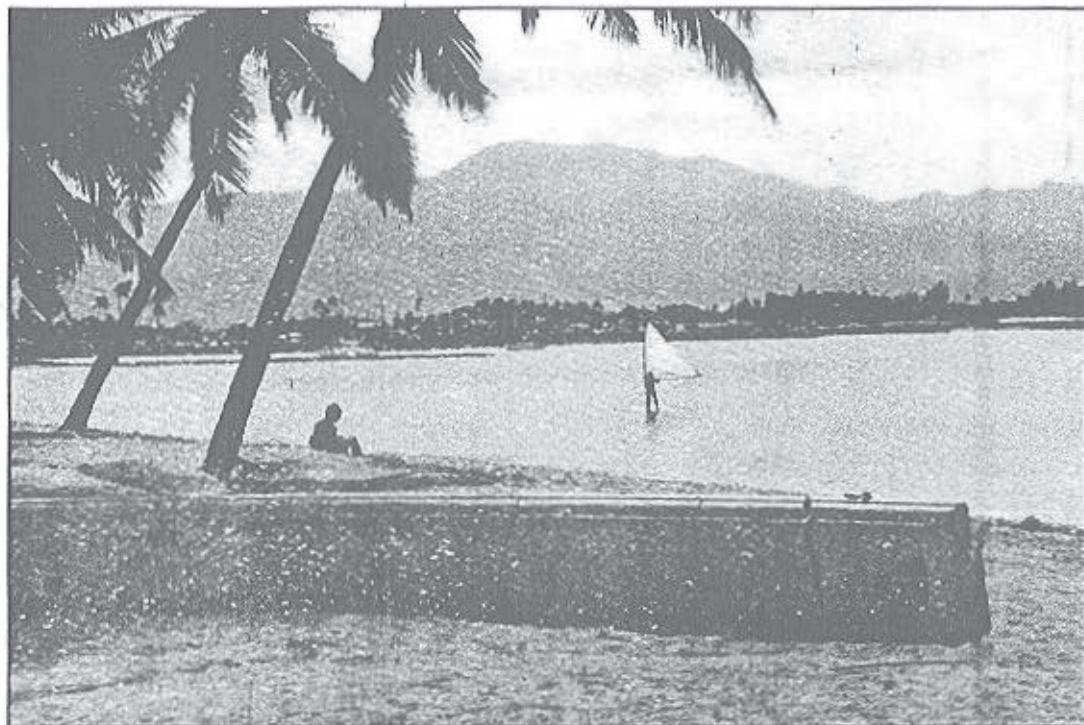
Some additional areas outside of the 50-foot right-of-way will be required for future bus stops. The Department of Transportation Services and Public Works should be consulted for specific required roadway improvements and setbacks for all projects abutting Kamehameha Highway.

Improvements, such as sidewalk paving, should match the finish, texture

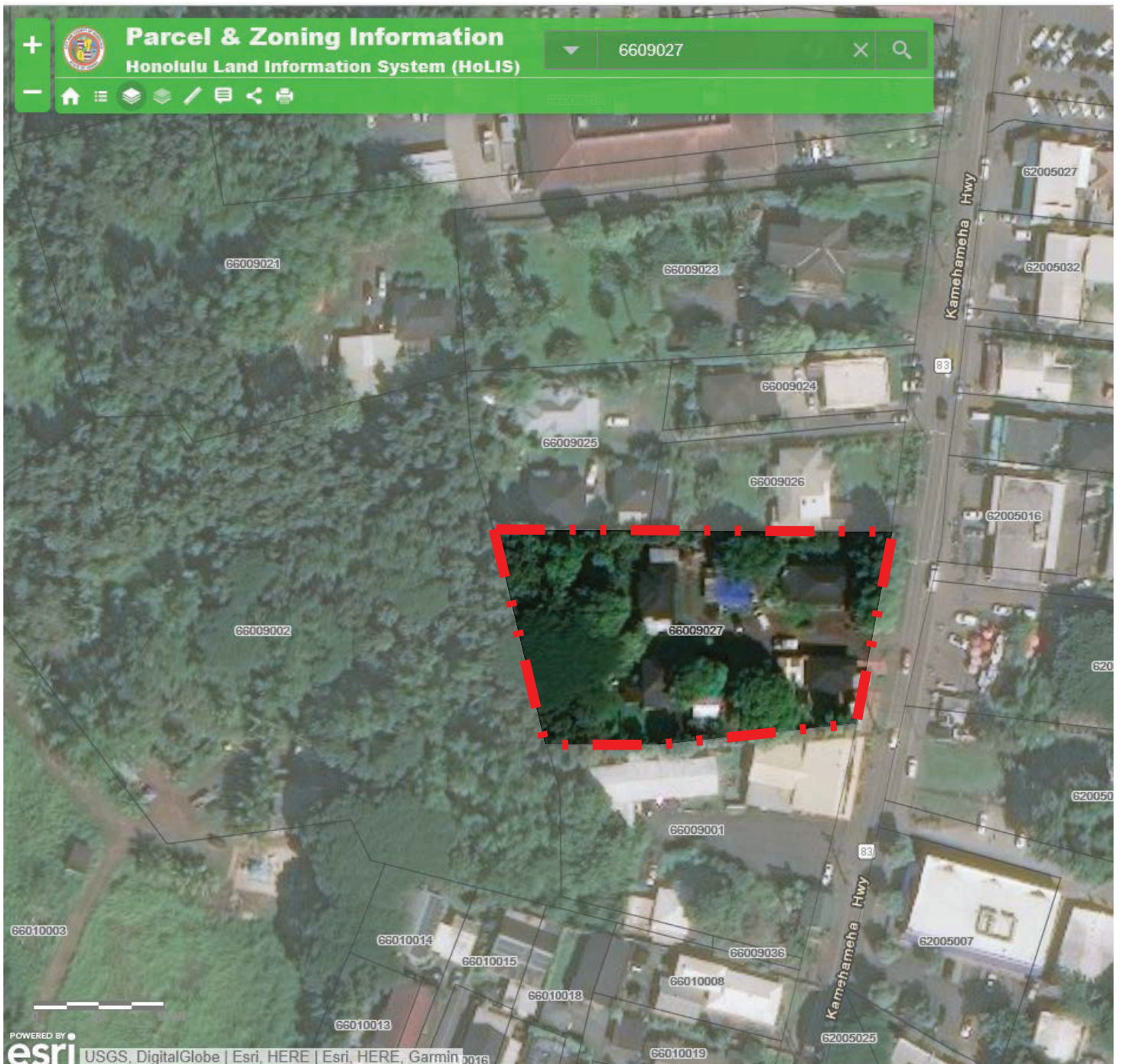


and color of the wood impressed concrete pads around the City and County bus stops.

Street furniture, such as benches and rubbish receptacles, should be wood or wrought iron to enhance the character of the District. Other improvements, such as special crosswalk paving and signage, should also be considered.



Haleiwa Beach Park



HALEIWA TOWN B1 ZONED +/- 1 ACRE DEVELOPMENT PARCEL
ATTACHMENT D - PARCEL & ZONING



Development Standard	District					
	A-1	A-2	A-3	AMX-1	AMX-2	AMX-3
Maximum height (feet) ⁵	30	per zoning map		30	per zoning map	
Height setbacks	none	per Sec. 21-3.80-1(c)		none	per Sec. 21-3.90-1(c)	
Maximum density (FAR) for A-1 & AMX-1 districts based on zoning lot size	Lot area (sq. ft.)		FAR calculation			
	Less than 10,000		FAR = (.00003 x lot area) + 0.3			
	10,000 - 40,000		FAR = (.00001 x lot area) + 0.5			
	Over 40,000		FAR = 0.9			
Maximum density (FAR) for A-2 & AMX-2 districts based on zoning lot size	Lot area (sq. ft.)		FAR calculation			
	Less than 10,000		FAR = (.00009 x lot area) + 0.4			
	10,000 - 40,000		FAR = (.00002 x lot area) + 1.1			
	Over 40,000		FAR = 1.9			
Maximum density (FAR) for A-3 & AMX-3 districts based on zoning lot size	Lot area (sq. ft.)		FAR calculation			
	Less than 10,000		FAR = (.00014 x lot area) + 0.6			
	10,000 - 20,000		FAR = (.00004 x lot area) + 1.6			
	20,000 - 40,000		FAR = (.00002 x lot area) + 2.0			
	Over 40,000		FAR = 2.8			

¹There shall be no minimum lot area, width or depth for off-site parking facilities.

²There shall be no minimum lot area for off-site parking facilities.

³Five feet for detached dwellings and duplexes and 10 feet for other uses.

⁴For duplex lots, 5 feet for any portion of any structure not located on the common property line; the required side yard is zero feet for that portion of the lot containing the common wall.

⁵Heights for detached dwellings and duplexes shall comply with residential height and height setback requirements.

n/a = Not applicable
(Added by Ord. 99-12)

Sec. 21-3.100 Resort district--Purpose and intent.

The purpose of the resort district is to provide areas for visitor-oriented destination centers. Primary uses are lodging units and hotels and multifamily dwellings. Retail and business uses that service visitors are also permitted. This district is intended primarily to serve the visitor population, and should promote a Hawaiian sense of place. (Added by Ord. 99-12)

Sec. 21-3.100-1 Resort uses and development standards.

- (a) Within the resort district, permitted uses and structures shall be as enumerated in Table 21-3.
- (b) Within the resort district, development standards shall be as enumerated in Table 21-3.4.
- (c) Additional Development Standards.
 - (1) Except for necessary access drives and walkways, all front yards shall be landscaped. Within 10 feet of the property line, side and rear yards shall be maintained in landscaping, except for necessary access drives and walkways.
 - (2) Optional Yard Siting. Parking lots and garages may extend to side and rear property lines, provided the following requirements are met:
 - (A) An area or areas of open space equivalent to the area to be used for parking or accessory use structures are provided elsewhere on the zoning lot. This open space shall be maintained in landscaping, except for drives or walkways necessary for access to adjacent streets. Parking may overhang the open space up to three feet if wheel stops are installed. A minimum of 50 percent of the open space shall be contiguous to the street frontage abutting the zoning lot;
 - (B) Any parking floor in the 10 feet adjacent to the property line shall not be more than four feet above existing grade; and
 - (C) Landscaping required under Section 21-4.70 is provided and maintained.
 - (3) Height Setbacks. For any portion of a structure over 30 feet in height, additional side and rear setbacks shall be provided; for each 10 feet of additional height or portion thereof, an additional one-foot setback shall be provided. The additional setback shall be a continuous plane from the top of the structure to the height of 30 feet above grade (see Figure 21-3.4).

(Added by Ord. 99-12)

Sec. 21-3.110 Business districts--Purpose and intent.

- (a) The purpose of the business districts is to set aside areas for commercial and business activities to meet and support the economic growth of the city. The districts provide for the buying and selling of goods and services, the transportation and distribution of commodities and other complementary

economic activities. Other uses which are supportive of or compatible with business activities are also permitted. These districts help to ensure a favorable business climate and support the economic and social well-being of city residents.

- (b) The intent of the B-1 neighborhood business district is to provide relatively small areas which serve the daily retail and other business needs of the surrounding population. It is intended that this district be generally applied to areas within or adjacent to urban residential areas, along local and collector streets, but not along major travel routes or on a large scale basis. It would also be applied to rural and urban fringe town centers which may or may not be located along major travel routes.
- (c) The intent of the B-2 community business district is to provide areas for community-wide business establishments, serving several neighborhoods and offering a wider range of uses than is permitted in the B-1 district. The intent is to apply this district to areas conveniently accessible by vehicular and pedestrian modes and served by adequate public facilities. Typically, this district would be applied to lots along major streets and in centrally located areas in urban and urban fringe areas.

(Added by Ord. 99-12)

Sec. 21-3.110-1 Business uses and development standards.

- (a) Within the business districts, permitted uses and structures shall be as enumerated in Table 21-3.
- (b) Within the business districts, development standards shall be as enumerated in Table 21-3.4.
- (c) Additional Development Standards.
 - (1) Except for necessary access drives and walkways, all yards shall be landscaped.
 - (2) B-1 District Transitional Height Setback. Where a zoning lot adjoins a zoning lot in a residential district, the residential district height setbacks shall be applicable at the buildable area boundary line of the adjoining side of the B-1 zoning lot (see Figure 21-3.5).
 - (3) B-2 District Transitional Height Setback.
 - (A) Where a zoning lot adjoins a zoning lot in a residential, A-1 or AMX-1 district, the residential district height setback shall be applicable at the buildable area boundary line of the adjoining side of the B-2 zoning lot (see Figure 21-3.5).
 - (B) Where a zoning lot adjoins a zoning lot in an A-2, A-3, AMX-2, AMX-3 or resort district, no portion of a structure shall exceed 40 feet in height along the buildable area boundary line on the adjoining side of the B-2 zoning lot, provided that additional height shall be permitted if the additional height is set back one foot from the buildable area boundary line for each 10 feet in height or fraction thereof. This setback shall be a continuous plane from the top of the structure to the beginning of the additional height (see Figure 21-3.5).
 - (4) Street Setbacks. Within the B-2 district, no portion of a structure shall exceed a height equal to twice the distance from the structure to the vertical projection of the center line of any street (see Figure 21-3.7).
 - (5) Open Space Bonus. Within the B-2 district:
 - (A) For each square foot of public open space provided, five square feet of floor area may be added, exclusive of required yards;
 - (B) For each square foot of arcade area provided, three square feet of floor area may be added, exclusive of required yards; and
 - (C) Maximum density with open space bonuses shall not exceed an FAR as provided under Table 21-3.4.

(Added by Ord. 99-12)

Sec. 21-3.120 Business mixed use districts--Purpose and intent.

- (a) The purpose of the business mixed use districts is to recognize that certain areas of the city have historically been mixtures of commercial and residential uses, occurring vertically and horizontally and to encourage the continuance and strengthening of this pattern. It is the intent to provide residences in very close proximity to employment and retail opportunities, provide innovative and stimulating living environments and reduce overall neighborhood energy consumption.
- (b) The intent of the BMX-3 community business mixed use districts is to provide areas for both commercial and residential uses outside of the central business mixed use district and at a lower intensity than the central business mixed use district. Typically, this district would be applied to areas along major thoroughfares adjacent to B-2, BMX-4, A-3, AMX-2 and AMX-3 zoning districts. It is also intended that it be applied to areas where the existing land use pattern is already a mixture of commercial and residential uses, occurring horizontally, vertically or both.
- (c) The intent of the BMX-4 central business mixed use district is to set apart that portion of Honolulu which forms the city's center for financial, office and governmental activities and housing. It is intended for the downtown area and not intended for general application. It provides the highest land use intensity for commerce, business and housing.

(Added by Ord. 99-12)

Sec. 21-3.120-1 BMX-4 business mixed use special height controls.

- (a) Any development which is proposed to exceed a height limit of 350 feet shall comply with the following:
 - (1) Minimum Project Size. The minimum project size shall be 35,000 square feet.

- (2) Site Plan. The request for additional height shall include a proposed site plan, which shall include the location and height of building towers, and shall take into consideration adjacent uses and structures. Specifically, the following principles shall be reflected in the site plan, and the applicant shall demonstrate how these principles are being met:
 - (A) Building towers shall not significantly obstruct or intrude on adopted public views.
 - (B) Proposed open spaces shall complement and relate to adjacent open spaces.
 - (C) Ground level parking lots and structures should not front streets. Where this is not possible, canopy and vertical form trees, hedges and other landscaping elements shall be provided to visually screen them.
 - (D) The additional tower height shall not unreasonably block the provision of light and air to other buildings and public open spaces, nor obliterate direct exposure to the sun in any given 24-hour period.
 - (3) Public Open Space. A minimum of 35 percent of the lot area shall be devoted to public open space in accordance with Table 21-3.4.
 - (4) Public Views. The additional tower height shall not significantly intrude on any adopted public views, including the view of the central business district from the Punchbowl lookouts.
 - (5) Pedestrian Orientation. Project design at the ground level shall reflect a strong pedestrian orientation, especially fronting streets. Contributing elements include, but are not limited to:
 - (A) Arcades, with at least one-half of the arcade perimeter open or devoted to entrances and show windows.
 - (B) Public open spaces, with provisions for shade, seating areas, landscaping, water features and outdoor sculptures.
 - (C) Outdoor dining areas.
 - (D) Interesting paving design and finishes.
 - (E) Building materials, finishes and details which are human-scaled, nonglaring and not harsh.
 - (6) Wind Analysis. The request for additional height shall include a wind study of the effects of towers over 350 feet, particularly anticipated impacts at the ground level. Where adverse impacts are anticipated, mitigative measures shall be included in the proposal.
 - (7) Historic Resources. Any development which includes sites and/or structures on or eligible for inclusion on the national or state register of historic places or on the Oahu register of historic places shall be evaluated as to the feasibility and appropriateness of retaining the site and/or structure. For every square foot of building area of a site and/or structure on or eligible for inclusion on the national or state register of historic places or on the Oahu register of historic places, 10 square feet of additional floor area may be permitted above 350 feet of building height. This bonus shall be available even if the minimum open space requirements for subdivision (3) are not met.
 - (8) FAA Clearance. The request for additional height shall include a statement from the Federal Aviation Administration that the proposed building heights will not interfere with the operation of the Honolulu International Airport.
 - (9) Maximum Density. The maximum density as set forth in Table 21-3.4 shall not be exceeded.
 - (10) For purposes of this section, an "adopted public view" is a view that has been recognized as significant or otherwise worthy of protection by an adopted ordinance, including Article 9.
- (b) Applications to exceed a height limit of 350 feet shall be processed pursuant to the requirements for major permits (special district), as set forth in Section 21-2.40-2.
- (Added by Ord. 99-12)

Sec. 21-3.120-2 Business mixed use district uses and development standards.

- (a) Within the business mixed use districts, permitted uses and structures shall be as enumerated in Table 21-3.
- (b) Within the business mixed use districts, development standards shall be as enumerated in Table 21-3.4.
- (c) Additional Development Standards.
 - (1) Except for necessary access drives and walkways, all yards shall be landscaped.
 - (2) BMX-3 District Transitional Height Setbacks.
 - (A) Where a zoning lot adjoins a zoning lot in a residential, A-1 or AMX-1 district, the residential district height setback shall be applicable at the buildable area boundary line of the adjoining side of the BMX-3 zoning lot (see Figure 21-3.5).
 - (B) Where a zoning lot adjoins a zoning lot in an A-2, A-3, AMX-2, AMX-3 or resort district, no portion of a structure shall exceed 40 feet in height along the buildable area boundary line on the adjoining side of the BMX-3 zoning lot, provided that additional height shall be permitted if the additional height is set back one foot from the buildable area boundary line for each 10 feet in height

- or fraction thereof. This setback shall be a continuous plane from the top of the structure to the beginning of the additional height (see Figure 21-3.5).
- (3) BMX-4 District Transitional Height Setback. Where a zoning lot adjoins a zoning lot in a residential, apartment, apartment mixed use or resort district, the height setback of the adjoining district shall be applicable at the buildable area boundary line of the adjoining side of the BMX-4 lot (see Figure 21-3.5).
 - (4) BMX-4 District Height Setback. For a minimum of 50 percent of any contiguous street frontage, no portion of a structure located on a lot adjacent to a street shall exceed a height which is intersected by a plane over the buildable area which makes an angle of 65 degrees with the horizontal at ground elevation at the center line of the street (see Figure 21-3.9).
 - (5) Street Setbacks and Street Trees.
 - (A) Within the BMX-3 district, no portion of a structure shall exceed a height equal to twice the distance from the structure to the vertical projection of the center line of any street (see Figure 21-3.7).
 - (B) If a street tree plan exists for the street which fronts the project, the applicant shall install a street tree or trees, as required by the director.
 - (6) BMX-3 District Open Space Bonus.
 - (A) For each square foot of public open space provided, five square feet of floor area may be added, exclusive of required yards;
 - (B) For each square foot of arcade area provided, three square feet of floor area may be added, exclusive of required yards; and
 - (C) Maximum density with open space bonuses shall not exceed an FAR as provided under Table 21-3.4.
 - (7) BMX-4 District Open Space Bonus.
 - (A) For each square foot of public open space provided, 10 square feet of floor area may be added. If provided, front yards may be included as public open space;
 - (B) For each square foot of arcade area provided, five square feet of floor area may be added;
 - (C) Maximum density with open space bonuses shall not exceed an FAR as provided under Table 21-3.4; and
 - (D) For developments which exceed a height of 350 feet, for each square foot of public open space provided, 10 square feet of floor area may be added below 350 feet of building height or seven square feet of floor area may be added above 350 feet of building height. If provided, front yards may be included as public open space.
 - (8) BMX-4 District Heights Above 350 Feet. For developments which exceed a height of 350 feet, but are permitted higher heights on the zoning maps, refer to Section 21-3.120-1.
 - (9) Historic Resources Bonus. For developments in the BMX-4 district which exceed a height of 350 feet, refer to Section 21-3.120-1 for provisions relating to additional floor area permitted for preservation of historic resources.

(Added by Ord. 99-12)

Table 21-3.4
Resort, Business and Business Mixed Use Districts
Development Standards

Development Standard		District				
		Resort	B-1	B-2	BMX-3	BMX-4
Minimum lot area (square feet)		15,000 ¹	5,000	5,000	5,000	5,000
Minimum lot width and depth (feet)		70 ¹	50	50	50	50
Yards (feet):	Front	25	10	5 ⁴	10 for dwellings, 5 for other uses ⁴	5 ^{4, 5}
	Side and rear	20 ²	0 ³	0 ³	5 ² for detached dwellings, 10 for multifamily dwellings, 0 ³ for other uses ⁴	0 ³
Maximum building area (percent of zoning lot)		50	not regulated			

Development Standard		District				
		Resort	B-1	B-2	BMX-3	BMX-4
Maximum density (FAR) resort district only		Lot area (sq. ft.)		FAR calculation		
		Less than 10,000		FAR = (.00006 x lot area) + 0.4		
		10,000-30,000		FAR = (.00002 x lot area) + 0.8		
		Over 30,000		FAR = 1.4		
Maximum density (FAR) for other districts		See above	1.0	2.5	2.5	4.0
Open space bonus	Available	No		Yes see Sec. 21-3.110-1(c)	Yes see Sec. 21-3.120-2(c)	
	Max FAR	n/a	n/a	3.5	3.5	7.5
Maximum height (feet)		per zoning map	40	per zoning map	per zoning map	per zoning map, see Sec. 21-3.120-1 for additional height
Height setbacks		per Sec. 21-3.100-1(c)	per Sec. 21-3.110-1(c)		per Sec. 21-3.120-2(c)	

¹There shall be no minimum lot area, width or depth for off-site parking facilities.

²For duplex lots, 5 feet for any portion of any structure not located on the common property line; the required side yard is zero feet for that portion of the lot containing the common wall.

³Where the side or rear property line of a zoning lot adjoins the side or rear yard of a zoning lot in a residential, apartment or apartment mixed use district, there shall be a side or rear yard which conforms to the yard requirements for dwelling use of the adjoining district. In addition, see Section 21-4.70-1 for landscaping and buffering requirements.

⁴Where a zoning lot adjoins a residential, apartment or apartment mixed use district and forms a continuous front yard, the lot or the first 100 feet of the lot (whichever is less) shall conform to the front yard requirements for the dwelling use of the adjoining district (see Figure 21-3.6).

⁵Five feet for structures up to 12 feet in height, provided that where the adjacent street is greater than 50 feet in width, an area of open space or an arcade, equivalent to the required yard area may be provided elsewhere on the zoning lot (see Figure 21-3.8).

n/a = Not applicable

(Added by Ord. 99-12; Am. Ord. 03-37)

Sec. 21-3.130 Industrial districts--Purpose and intent.

- (a) The purpose of the industrial districts is to recognize the importance of industrial uses to the welfare of city residents by providing areas for industrial uses without undue competition from other uses and ensuring compatibility with nonindustrial areas. Typical uses include manufacturing, refining, sorting, processing and storage of materials and products. Limited business activities that directly support the industrial uses or those employed by industries therein are permitted in these districts.
- (b) Heavy industrial uses such as refining of petroleum and manufacturing of explosives will only be allowed under certain conditions and in areas well away from other districts.
- (c) To minimize potential adverse impacts on property and persons in the same or neighboring districts, standards are established for the more noxious uses permitted in these districts.
- (d) The intent of the I-1 limited industrial district is to provide areas for some of the industrial employment and service needs of rural and suburban communities. It is intended to accommodate light manufacturing, including handcrafted goods as well as "high technology industries" such as telecommunications, computer parts manufacturing, and research and development. Uses in this district are limited to those which have few environmental impacts and those which complement the development scale of communities they would serve.
- (e) The intent of the I-2 intensive industrial district is to set aside areas for the full range of industrial uses necessary to support the city. It is intended for areas with necessary supporting public infrastructure, near major transportation systems and with other locational characteristics necessary to support industrial centers. It shall be located in areas away from residential communities where certain heavy industrial uses would be allowed.
- (f) The intent of the I-3 waterfront industrial district is to set apart and protect areas considered vital to the performance of port functions and to their efficient operation. It is the intent to permit a full range of facilities necessary for successful and efficient performance of port functions. It is intended to exclude uses which are not only inappropriate but which could locate elsewhere.

(Added by Ord. 99-12)

Sec. 21-3.130-1 Industrial uses and development standards.

- (a) Within the industrial districts, permitted uses and structures shall be as enumerated in Table 21-3.

Figure 21-3.5

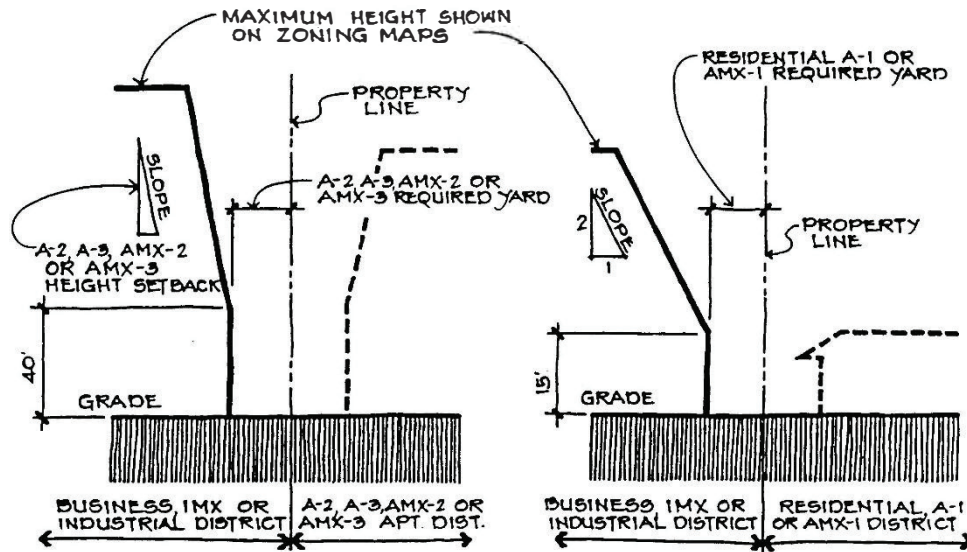
TRANSITIONAL HEIGHTS (BUSINESS, BMX,
IMX AND ALL INDUSTRIAL DISTRICTS)

Figure 21-3.10
HEIGHT MEASUREMENT IN
RESIDENTIAL DISTRICTS

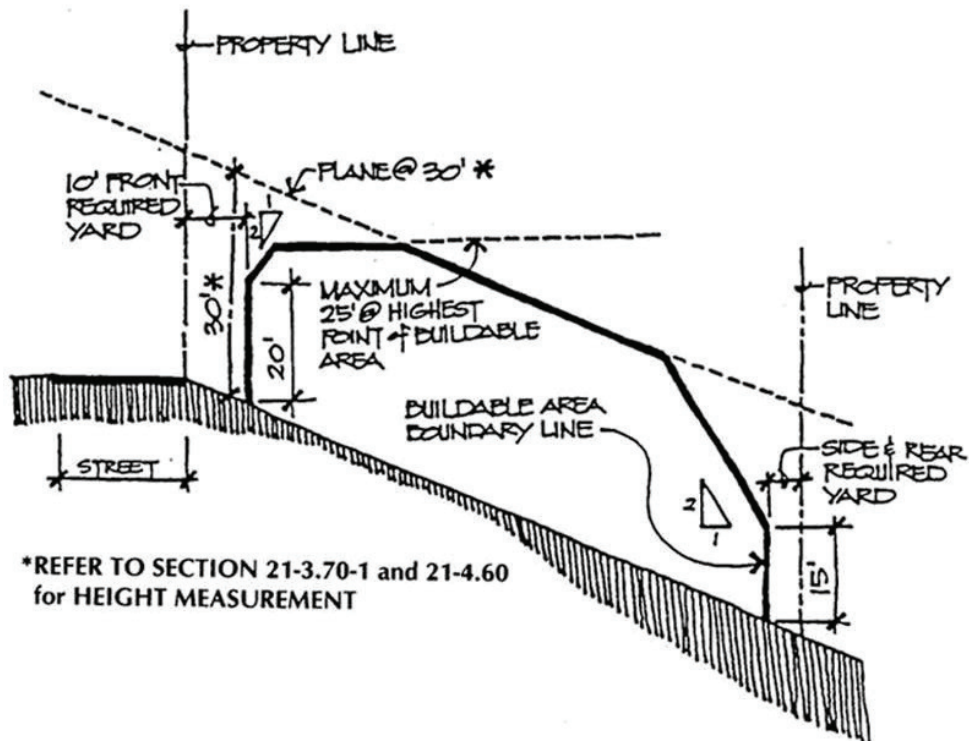
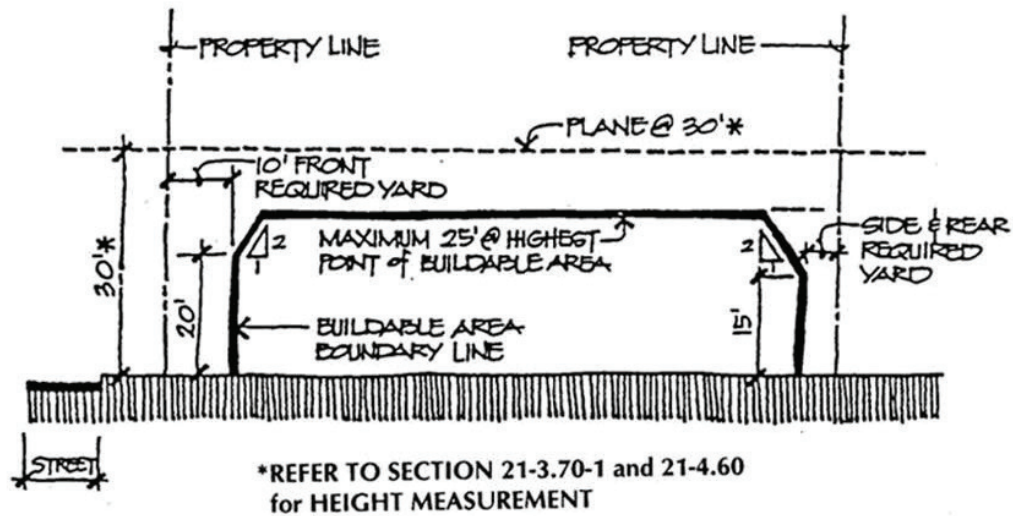


Table 21-9.6(C) Waikiki Special District Project Classification		
Activity/Use	Required Permit	Special Conditions
Major exterior repair, alteration or addition to nonhistoric structures	m	
Minor exterior repair, alteration or addition to nonhistoric structures, which does not adversely change the character or appearance of the structure	E	
Planned development projects (PD-R and PD-A)	M	Prior council approval of conceptual plan required. See Sec. 21-9.80-4(d)(4)
Permitted uses and structures under Sections 21-9.80-4(a), uses and activities allowed in required yards and setbacks; 21-9.80-4(e), nonconformity; and 21-9.80-4(g)(1), rooftop height exemption; when not otherwise covered by this table	M/m	Major for the reconstruction of existing nonconforming structures and/or adjustment of open space, off-street parking and/or height provided for nonconforming structures under Section 21-9.80-4(e)(1)
Exterior repainting that significantly changes the character or appearance of the structure	M/m	Major for murals exceeding length or width dimensions of 12 feet
Interior repairs, alterations and renovations to all structures	E	
Demolition of historic structures	M	
Demolition of nonhistoric structures	m/E	Minor only when structure is over 50 years old; otherwise exempt
Fences and walls	E	
Streetscape improvements, including street furniture, light fixtures, sidewalk paving, bus shelters and other elements in public rights-of-way	m	
Major above-grade infrastructure* improvements not covered elsewhere, including new roadways, road widenings, new substations, new parks and significant improvements to existing parks	m	
Minor above-grade infrastructure* improvements not covered elsewhere; all below-grade infrastructure improvements; and all emergency and routine repair and maintenance work	E	
New buildings not covered above	M/m	Minor for accessory structures

*Notes: "Infrastructure" includes roadways, sewer, water, electrical, gas, cable tv, telephone, drainage and recreational facilities.

A special district permit is not required for activities and uses classified as exempt, as well as other project types which do not fall into one of the categories listed above. These activities and uses, however, must still conform to the applicable objectives and standards of the special district. This conformance will be determined at the building permit application stage.

Legend--Project classification:

M = Major

m = Minor

E = Exempt

(Added by Ord. 99-12; Am. Ord. 03-38)

Sec. 21-9.90 Haleiwa special district.

Established in the late 1800s, Haleiwa town provides a historical encounter with a rural commercial setting which is an integral part of Hawaii's history. It is necessary to preserve and enhance its plantation era character. By

designating a special district, it is intended that the character of future developments be compatible with that of the existing community. (Added by Ord. 99-12)

Sec. 21-9.90-1 Objectives.

The objectives of the Haleiwa special district are to:

- (a) Preserve and enhance Haleiwa's existing rural low-rise, human-scaled form and character, especially along Kamehameha Highway and Haleiwa Road.
- (b) Preserve and restore to the extent possible buildings and sites of scenic, historic, cultural and/or architectural significance, and encourage new development which is compatible with and complements those buildings and sites, primarily through low building heights, appropriate period design features and subdued materials.
- (c) As entry points to Haleiwa, Weed Junction and Anahulu Bridge should be given special attention through landscaping and painting embellishment, respectively.
- (d) Encourage new development which will complement the significant physical features, waterways, open space, mature trees and sites in Haleiwa.
- (e) Retain a distinctive pedestrian-oriented commercial area for residents and visitors.
- (f) Provide for safe and pleasant pedestrian and vehicular circulation, while avoiding parking areas along the streetscape.
- (g) Enhance the attractiveness and general landscaped open space character of the area.
- (h) Preserve and enhance significant views in Haleiwa, especially those within the highly developed and heavily traveled areas.
- (i) Provide public improvements such as roadways, street lights, street furniture and signage compatible with the rural character of the community, rather than at conventional urban standards.

(Added by Ord. 99-12)

Sec. 21-9.90-2 District boundaries.

The boundaries of the district are designated on Exhibit 21-9.16, set out at the end of this article. The district is generally comprised of parcels abutting Kamehameha Highway between Weed Junction south and Haleiwa Beach Park north.

(Added by Ord. 99-12)

Sec. 21-9.90-3 Significant public views and resources.

The following are significant views within the Haleiwa special district.

- (a) Views of Mount Kaala, the Waianae Range, Lokoea Pond and Waialua Bay from Kamehameha Highway.
- (b) Views of Anahulu Stream from Kamehameha Highway, at the old arched Anahulu ("Haleiwa") Bridge.
- (c) Views of Paukauila Stream, with landscaped buffer material, from Kamehameha Highway.
- (d) Views of other significant features delineated on Exhibit 21-9.18, set out at the end of this article.

(Added by Ord. 99-12)

Sec. 21-9.90-4 Design controls.

Implementation of the district objectives shall consist primarily of use restrictions, building height limitations, yard and landscaping requirements, parking, architectural design requirements, choice of exterior colors, and sign and exterior furniture design controls. Specific regulations are enumerated below.

- (a) Prohibited Uses. All uses permitted in the respective underlying zoning district are permitted in the Haleiwa special district.
- (b) Heights.
 - (1) Permitted maximum heights of buildings and structures within the district shall not exceed 30 feet, except as provided under subdivision (2) of this subsection. Where the underlying zoning district has a lower height limit, the lower height shall prevail.
 - (2) The director may exempt the following architectural features from the height regulations, provided they are erected only to such height as is necessary to accomplish the purpose for which they serve, but in no case exceeding 12 feet above the maximum height limit. These building elements may be exempted only if the director finds they do not obstruct any significant views which are to be preserved, protected and enhanced and are consistent with the intent and objectives of the Haleiwa special district.
 - (A) Necessary mechanical appurtenances of the building on which they are erected, provided they are screened from view.
 - (B) Necessary utilitarian features, including stairwell enclosures, ventilators and skylights.
 - (C) Decorative or recreational features, including rooftop gardens, planter boxes, parapet walls or ornamental cornices.
 - (3) Except for flagpoles and smokestacks, all items listed in Section 21-4.60(c) shall also be exempt from the height provisions of this subsection.
- (c) Required Yards.
 - (1) The required front yard for any building or structure shall be 10 feet. Ground level porches, walkways, roof canopies or eaves for other than residential structures may extend a maximum of five feet into the front yard.
 - (2) Business uses and structures, except for service stations shall be located at the front yard setback line for a minimum of 50 percent along the front yard setback line.
 - (3) The minimum required setback for any new building or structure from any significant waterways as identified on Exhibit 21-9.18, set out at the end of this article, shall be 20 feet as measured from the water's edge.

- (d) **Landscaping.**
- (1) All required front yards shall be landscaped. A minimum 10-foot-wide buffer landscape strip shall be provided for all service stations, between the Kamehameha Highway property line or street setback lines, whichever is greater, and the service lanes or area.
 - (2) The setback area within 20 feet from any significant waterways shall be maintained in an indigenous state. Additional planting material shall be provided in this area to screen any new structures or parking and drive areas as viewed from Kamehameha Highway. This requirement may be reduced for roadways and access drives where visibility is required for the safety of vehicles and pedestrians.
 - (3) Street trees shall be provided along Kamehameha Highway and Haleiwa Road in an informal arrangement, planted within front yards or the sidewalk area, and shall be a minimum two-inch caliper. Species shall be chosen from the list shown on Exhibit 21-9.18, set out at the end of this article, and shall be a minimum two-inch caliper. Number, spacing and location of trees shall be determined by the director.
 - (4) Any tree six inches or greater in trunk diameter shall not be removed or destroyed except as follows:
 - (A) The tree is not visible from any street, park or other public viewing area.
 - (B) Appropriate development of the site cannot be achieved without removal of the tree.
 - (C) The tree is a hazard to the public safety or welfare.
 - (D) The tree is dead, diseased or otherwise irretrievably damaged.
 - (E) The applicant can demonstrate the tree is unnecessary due to overcrowding of vegetation.
 - (5) Any tree removed which is visible from any street, park or other public viewing area shall be replaced by an approved tree of minimum two inch caliper or by alternative approved landscaping material, unless the replacement results in overcrowded vegetation. Where possible, trees proposed for removal shall be relocated.
- (e) **Off-street Parking.**
- (1) Open parking areas of five or more cars shall be screened from view of Kamehameha Highway and adjacent lots and streets by fences, walls, earth berms, depression and/or landscaping a minimum of 48 inches high. This height may be reduced, subject to review and approval of the director, where visibility is required for the safety of vehicles and pedestrians.
 - (2) All other landscaping requirements of Section 21-4.70 shall apply.
 - (3) Except for necessary access drives, parking and loading spaces shall be prohibited in all required yards.
 - (4) Off street parking and loading shall be located at the side and rear of buildings only.
- (f) **Architectural Appearance and Character.**
- (1) **General.** The architectural form, scale and character for new or renovated structures and modifications of existing structures shall be similar to the existing traditional building forms of Haleiwa. Typical characteristics for business districts are low structures with sloped roof canopies or overhanging second floors, false front facades or parapets, metal roofs, ground floors with entrances to the street, wood porches, generous window openings, and small-scale architectural detailing of facades.
 - (2) **Roofs.** Roof projections or canopies shall be provided at the first floor roof level along Kamehameha Highway. Roofs visible from Kamehameha Highway shall have a minimum slope of five inches vertically to 12 inches horizontally. Flat roofs are prohibited in the district except for screened portions to accommodate mechanical equipment or enclosed by parapets or otherwise not visible from within the district. Roof materials shall be limited to wood shingles or shakes, patterned metal, patterned clay or concrete tiles for all sloping roofs visible from the district.
 - (3) **Sun Control.** Awnings shall be either roll up construction, or fixed and projecting. They shall be subdued in color and pattern. Fixed commercially made metal awnings or "modern style" sun control devices are not permitted except by approval of the director in accordance with the purpose and objectives of the district.
 - (4) **Railings, Fences and Walls.** Within the front yard railings and fences shall be constructed from wood and refined in detail. Walls exceeding 36 inches in height shall be set back a minimum of 18 inches along Kamehameha Highway and Haleiwa Road and landscaped with vine or hedge planting or other approved vegetation on the street side. The setback and landscaping requirement may be waived by the director if the wall is moss rock or similar material.
 - (5) **Exterior Lighting.** Private light fixtures shall complement the character of the architecture of the district. Lighting shall be subdued so as not to produce glare to surrounding property and public viewing areas. Fluorescent or high intensity lamps shall not be permitted.
 - (6) **Exterior Wall Materials.** Wall materials shall be subdued and visually compatible with existing materials. Materials should be selected to weather and mature with time and exposure such as stained or natural finish wood, coral, lava rock, wattle stucco, field stone and concrete with exposed aggregates, or wood impressions. Board and batten or board on board wood siding walls are particularly encouraged.
 - (7) **Colors.** Colors for all materials shall be natural or earth tones in subdued ranges and combinations. Colors for architectural trim or accent shall not be so limited.
 - (8) **Street Facades.**
 - (A) A minimum of 50 percent of the area of the first floor street facade for business uses shall be devoted to windows and entrances. The area shall be measured along the length of the first floor street facade to a height of eight feet from the finish grade.
 - (B) All glass on street facades shall be transparent and untinted.

- (9) Walkways. Private walkway and sidewalk material shall be visually compatible with natural materials such as wood planks or concrete with wood impressions or exposed aggregate.
- (10) Exceptions. Exceptions to the above requirements for architectural appearance and character may be approved by the director if adequate justification for the exception is submitted and the exception requested is consistent with the objectives of the Haleiwa special district.
- (g) **Signs.**
- (1) Signs shall be designed to enhance the historic and architectural character of Haleiwa. An appropriate sign design would use a carved or sandblasted wood sign with serif-style lettering typical of the turn of the century, incorporating symbols when appropriate, and suspended from canopies or mounted on the building wall.
- (2) Pole-mounted signs shall be limited to a maximum height of 10 feet.
- (3) Signs which are self-illuminating, with moving parts, luminous paints or reflective materials are not permitted. Any illumination should be from a detached source shielded from direct view. Box fluorescent signs shall not be allowed.
- (4) Notwithstanding the provisions for ground signs under Article 7, one ground sign, not directly illuminated, per zoning lot for identification or directory purposes may be permitted in the required 10-foot front yard, if there are more than three establishments. If it is used as a directory sign for more than three establishments, a maximum 18-square-foot ground sign is permitted.
- (5) A second business sign on the building frontage for each ground floor establishment may be allowed, provided the sign is a hanging or projecting sign.
- (6) In lieu of the second business sign described above, a garden sign may be permitted within the required front yard for each ground floor establishment with building frontage, provided parking is not located within the front yard. Garden signs shall be spaced a minimum of 50 feet apart.
- (h) **Exterior Furniture.** Any exterior furniture located within the public right of way by a public agency, or on private property by an owner, lessee or tenant, shall be designed to enhance the rural character of Haleiwa and shall be subject to approval by the director.
- (i) **Drive-thru facilities.**
- (1) Required off-street parking shall be provided on site.
- (2) Left turns out of a drive-thru lane onto Kamehameha Highway shall be prohibited.
- (3) The service area for customers shall be at the rear or side of the structure.
- (4) Queuing vehicles on drive-thru lanes shall be screened from view of Kamehameha Highway by appropriate landscaping. The director shall approve the landscaping plan.
- (5) Drive-thru lanes shall be of a length sufficient to ensure that waiting vehicles do not obstruct traffic on Kamehameha Highway.
- (6) Drive-thru operations shall cease at 10:00 p.m.
- (7) Drive-thru facilities shall only be permitted on zoning lots along Kamehameha Highway:
- (A) Between Weed Junction and the cane haul road; and
- (B) Between the northern boundary of the Haleiwa special district and Anahulu Bridge.
- (8) No portion of any drive-thru facility shall be located within 2,000 feet of another drive-thru facility.
- (Added by Ord. 99-12; Am. Ord. 02-19)

Sec. 21-9.90-5 Detached dwellings and duplex units.

Detached dwellings and duplex units shall be exempt from the requirements of the Haleiwa special district, except for Section 21-9.90-4, subsections (d)(3), (d)(4) and (d)(5), relating to landscaping, subsection (f)(2) relating to roofs, and subsection (f)(4) relating to railings, fences and walls. (Added by Ord. 99-12)

Sec. 21-9.90-6 Project classification.

- (a) Refer to Table 21-9.7 to determine whether specific projects will be classified as major, minor, or exempt.
- (b) Projects involving demolition or relocation of structures listed on Exhibit 21-9.17, set out at the end of this article, may be referred to appropriate public or private agencies for review, which may include submittal for review to the state historic preservation office to investigate public and private alternatives to preserve buildings of scenic, historic, cultural or architectural significance consistent with the legislative intent and objectives of this ordinance. If required, such review shall not exceed a period of 90 days, and shall precede acceptance of the application for a special district permit.

(Added by Ord. 99-12)

Table 21-9.7 Haleiwa Special District Project Classification		
Activity/Use	Required Permit	Special Conditions
Signs	E	
Tree removal over six inches in diameter	m/E	Minor only if visible from Kamehameha Highway or Haleiwa Road
Detached dwellings and duplex units and accessory structures	E	
Grading and stockpiling	E	

Table 21-9.7 Haleiwa Special District Project Classification		
Activity/Use	Required Permit	Special Conditions
Major modification, alteration, repair or addition to all structures	M/m	Major if listed on Exhibit 21-9.17 and/or if visible from Kamehameha Highway or Haleiwa Road
Minor modification, alteration, repair or addition to historic structures	m	Also includes structures on Exhibit 21-9.17
Exterior repainting that significantly alters the character or appearance of the structure	m/E	Minor if listed on Exhibit 21-9.17 and/or visible from Kamehameha Highway or Haleiwa Road
Minor exterior repair, alteration or addition to nonhistoric structures, which does not adversely change the character or appearance of the structure	E	
Interior repairs, alterations and renovations to all structures	E	
Demolition of historic structures	M	Also includes structures on Exhibit 21-9.17
Demolition of nonhistoric structures	E	
Fences and walls	E	
Streetscape improvements, including street furniture, light fixtures, sidewalk paving, bus shelters and other elements in public rights-of-way	m	
Major above-grade infrastructure* improvements not covered elsewhere, including new roadways, road widenings, new substations, new parks and significant improvements to existing parks	m	
Minor above-grade infrastructure* improvements not covered elsewhere; all below-grade infrastructure improvements; and all emergency and routine repair and maintenance work	E	
New buildings not covered above	M/m	Major if visible from Kamehameha Highway or Haleiwa Road
Drive-thru facilities	m	

*Notes: "Infrastructure" includes roadways, sewer, water, electrical, gas, cable tv, telephone, drainage and recreational facilities.

A special district permit is not required for activities and uses classified as exempt, as well as other project types which do not fall into one of the categories listed above. These activities and uses, however, must still conform to the applicable objectives and standards of the special district. This conformance will be determined at the building permit application stage.

Legend--Project classification:

M = Major

m = Minor

E = Exempt

(Added by Ord. 99-12; Am. Ord. 02-19)

Sec. 21-9.100 Transit-oriented development (TOD) special districts.

- (a) The purpose of this section is to establish a procedure for the establishment of special districts known as TOD zones around rapid transit stations to encourage appropriate transit-oriented development.
- (b) The regulations applicable to a TOD zone shall be in addition to underlying zoning district and, if applicable, special district, regulations, and may supplement and modify the underlying regulations. Where a transit station is located within or adjacent to an existing special district, the TOD zone provisions may be incorporated in the existing special district provisions. If any regulation pertaining to a TOD zone conflicts with any underlying zoning district or special district regulation, the regulation applicable to the TOD zone shall take precedence.

NOTE:
Boundaries follow existing property lines unless otherwise noted.



6815



EXHIBIT 21-9.16

ORD. NO. 89-52
EFF. DATE: 4/18/89

HALEIWA SPECIAL DISTRICT HISTORIC STRUCTURES

LEGEND:

* STRUCTURES ON STATE HISTORIC REGISTER	(Year)
1. Haleiwa Court House	1889-1890
2. Haleiwa Post Office	1889-1890
3. Haleiwa School	1889-1890
4. Haleiwa Jail	1889-1890
5. Haleiwa Church	1889-1890
6. Haleiwa Store	1889-1890
7. Haleiwa Hotel	1889-1890
8. Haleiwa Tavern	1889-1890
9. Haleiwa Saloon	1889-1890
10. Haleiwa Restaurant	1889-1890
11. Haleiwa Bank	1889-1890
12. Haleiwa Pharmacy	1889-1890
13. Haleiwa Grocery	1889-1890
14. Haleiwa Meat Market	1889-1890
15. Haleiwa Butchery	1889-1890
16. Haleiwa Bakery	1889-1890
17. Haleiwa Confectionery	1889-1890
18. Haleiwa Ice Cream Parlor	1889-1890
19. Haleiwa Candy Shop	1889-1890
20. Haleiwa Toy Store	1889-1890
21. Haleiwa Stationery Shop	1889-1890
22. Haleiwa Book Store	1889-1890
23. Haleiwa Music Store	1889-1890
24. Haleiwa Art Gallery	1889-1890
25. Haleiwa Picture Show	1889-1890
26. Haleiwa Amusement Park	1889-1890
27. Haleiwa Casino	1889-1890
28. Haleiwa Race Track	1889-1890
29. Haleiwa Jockey Club	1889-1890
30. Haleiwa Stable	1889-1890
31. Haleiwa Horse Show	1889-1890
32. Haleiwa Equestrian Club	1889-1890

NOTE: Building names for reference only, subject to change. See map for details.

0 825 1250
Scale in Feet
NORTH

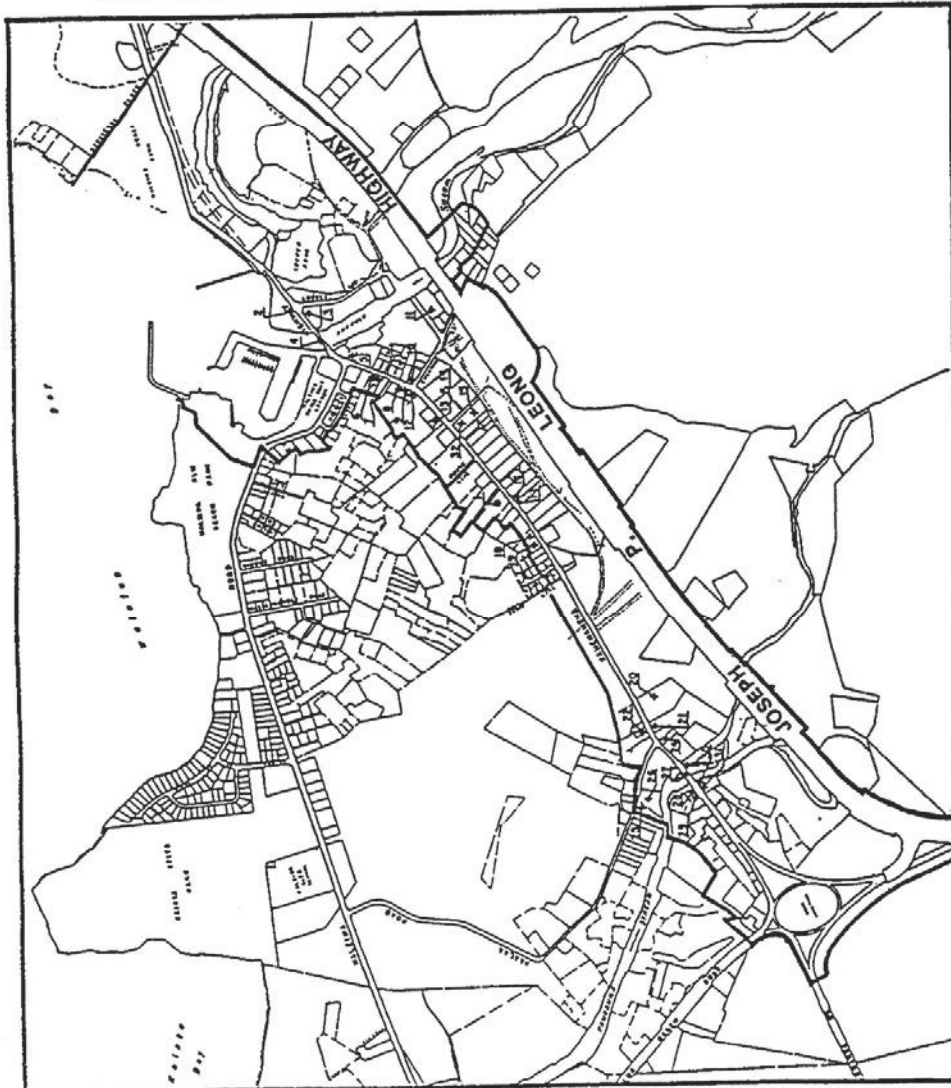
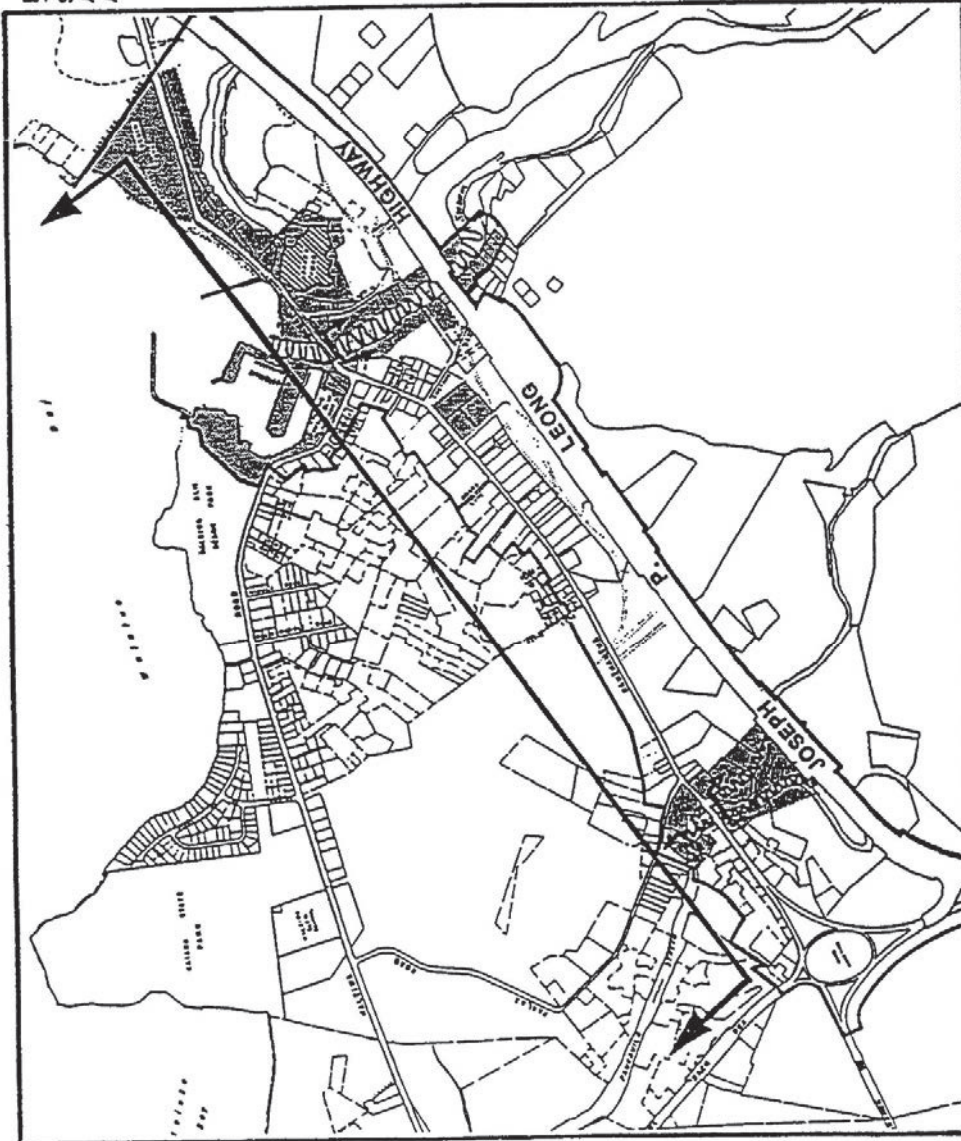


EXHIBIT 21-9.17

ORD. NO. 89-52
EFF. DATE: 4/18/89

4/89

HALEIWA SPECIAL DISTRICT
SIGNIFICANT EXISTING NATURAL
AND MAN MADE FEATURES,
AND VIEWS



ACCEPTABLE STREET TREES	
African Mimosas	Madagascar Olive*
Autographa	Mahogany
Coccoloba	Milo*
Glaphys	Mock Orange**
False Olive**	Poir's Pink Tecoma
Fern Tree	Pockypod*
Fig Species*	Pink Tecoma
Giant Crape Myrtle	Rainbow Shower
Gold Tree	Royal Palm
Golden Rain Tree	Royal Poinciana
Golden Trumpet	Silver Buttonwood
Huile Tree**	Silver Trumpet
Long Kong Orchid	Tamarind
Indian Coral*	True Keweenaw
Jack-in-the Box*	True Xou*
Lignum vitae*	Willow*
Loole Palms**	

* Salt tolerant
** Partially salt tolerant

LEGEND:

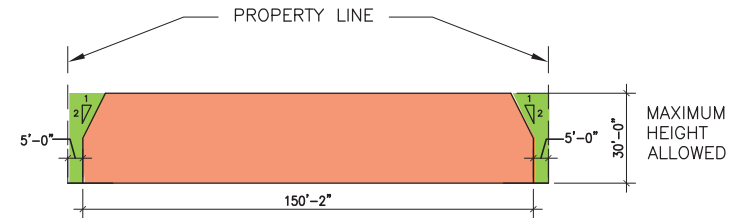
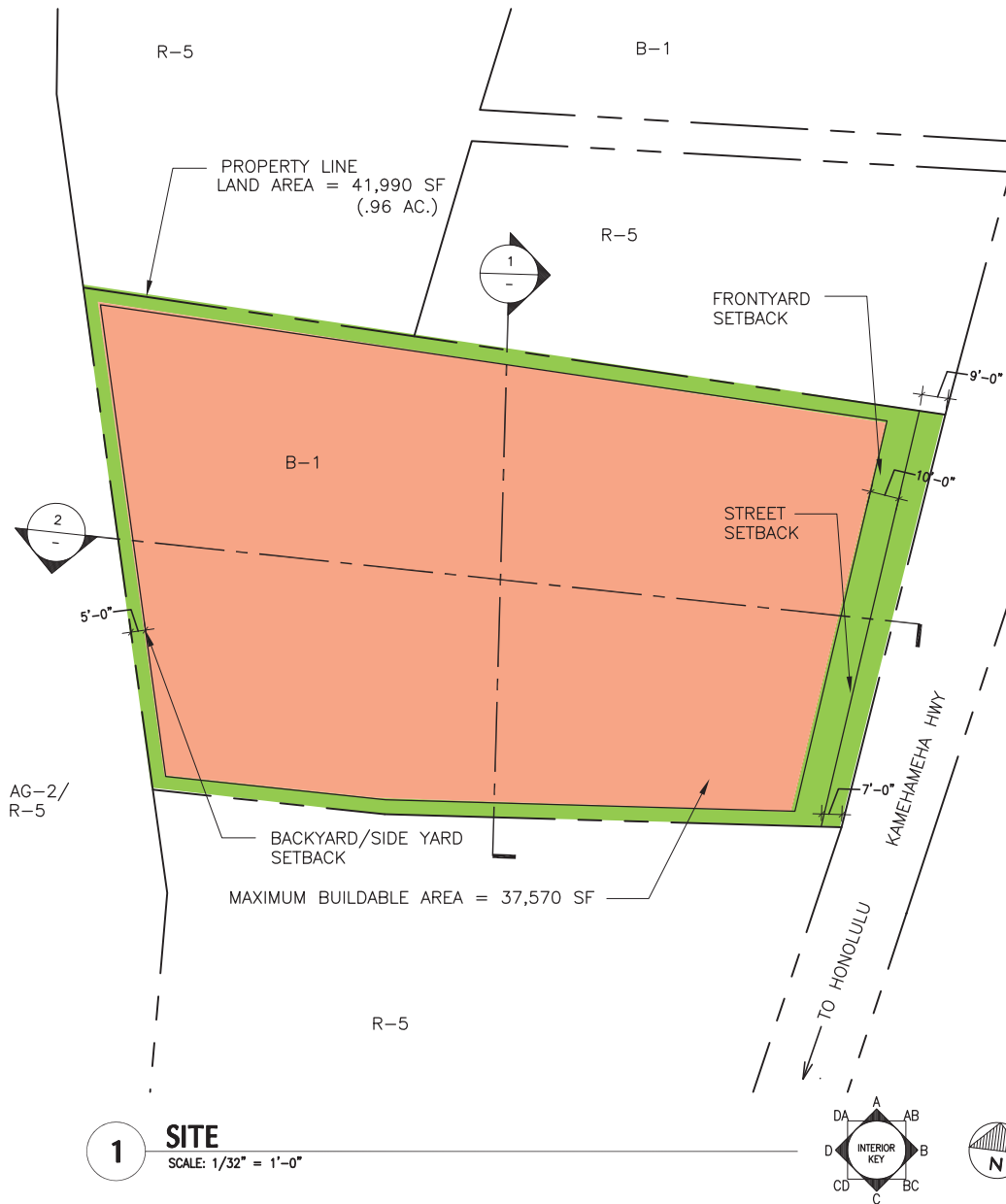
- BIG HIFICANT PHYSICAL FEATURES
- BIG HIFICANT WATERWAYS
- BIG HIFICANT SITES
- PANORAMIC VIEW

0 625 1250
Scale in Feet

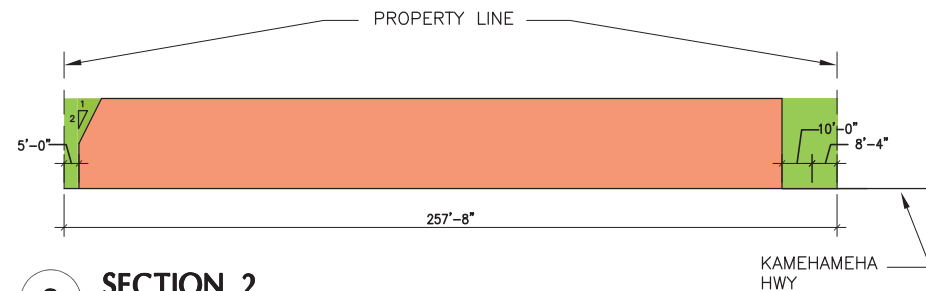
EXHIBIT 21-9.18

ORD. NO. 89-52
EFF. DATE: 4/18/89

4/89



2 SECTION 1
SCALE: 1/32" = 1'-0"



3 SECTION 2
SCALE: 1/32" = 1'-0"

Lorem ipsum

HALEIWA TOWN B1 ZONED +/- 1 ACRE DEVELOPMENT PARCEL ATTACHMENT G - EXAMPLE STUDY

- (6) All other provisions applicable to the zoning district apply.
 - (7) All rentals of an accessory dwelling unit, or of the primary dwelling unit if the property owner or owners, or persons who are related by blood, marriage or adoption to the property owner or owners, or designated authorized representative(s) choose to receive rent for the primary dwelling unit and occupy the accessory dwelling unit, must be evidenced by a written rental agreement signed by the owner and the tenant for a lease period of at least six months; provided that after the initial lease period is concluded, the owner may allow the same tenant to continue renting the accessory dwelling unit on a consecutive month-to-month basis.
 - (d) At the time of application, the applicant shall first obtain written confirmation from the responsible agencies that wastewater treatment and disposal, water supply, and access roadways are adequate to accommodate the accessory dwelling unit.
 - (e) An accessory dwelling unit may be created by building a new structure (attached or detached from the primary dwelling unit) or through conversion of a legally established structure (attached to or detached from the primary dwelling unit), attic or basement, subject to meeting all pertaining zoning requirements.
 - (f) The owner of a structure constructed without a building permit prior to the effective date of this ordinance, who wants to convert that structure to an accessory dwelling unit shall obtain an after-the-fact building permit. In addition to fulfilling the base requirements of the after-the-fact permit, any adjustments to the structure must conform to the accessory dwelling unit regulations enumerated in this section and any additional adopted policies and rules.
 - (g) The department of planning and permitting must be notified upon removal of an accessory dwelling unit.
 - (h) Prima facie evidence. If an accessory dwelling unit is advertised as a bed and breakfast home or transient vacation unit, the existence of such advertisement will be prima facie evidence of the following:
 - (1) That the owner of the advertised unit disseminated or directed the dissemination of the advertisement in that form and manner; and
 - (2) That a bed and breakfast home or transient vacation unit, as applicable, is being operated at the location advertised.

The burden of proof is on the owner to establish otherwise with respect to the advertisement and that the subject property either is not being used as a bed and breakfast or transient vacation unit, or that it is being used legally for such purpose.
- (Added by Ord. 15-41)

Article 6. Off-street Parking and Loading

Sections:

21-6.10	Off-street parking and loading--Intent.
21-6.20	Off-street parking requirements.
21-6.30	Method of determining number.
21-6.40	Arrangement of parking spaces.
21-6.50	Minimum dimensions.
21-6.60	Improvement of off-street parking spaces, parking lots and driveways.
21-6.70	Parking spaces and required yards.
21-6.80	Mechanical parking and storage garages.
21-6.90	Required parking spaces located off premises.
21-6.100	Off-street loading requirements.
21-6.110	Method of determining number.
21-6.120	Dimensions of loading spaces.
21-6.130	Location and improvement of loading spaces.
21-6.140	Exceptions to off-street parking and loading requirements.

Tables:

21-6.1	Off-street Parking Requirements.
21-6.2	Off-street Parking Requirements BMX-4 Central Business Mixed Use.
21-6.3	Off-street Parking Requirements Waikiki Special District.

Sec. 21-6.10 Off-street parking and loading--Intent.

- (a) Parking and loading standards are intended to minimize street congestion and traffic hazards, and to provide safe and convenient access to residences, businesses, public services and places of public assembly. Parking standards are not intended to satisfy maximum parking demand.
- (b) Off-street parking and loading spaces shall be provided in such numbers, at such locations and with such improvements as required by the provisions of this article.

(Added by Ord. 99-12)

Sec. 21-6.20 Off-street parking requirements.

Except as otherwise provided in this chapter, the minimum number of required off-street parking spaces shall be as shown on Tables 21-6.1, 21-6.2 and 21-6.3 which follow. When there is a change in use, the number of off-street parking spaces shown on Tables 21-6.1, 21-6.2 and 21-6.3 for the new use shall be provided, except as provided under Section 21-4.110(e) relating to nonconforming parking and loading. (Added by Ord. 99-12)

Sec. 21-6.30 Method of determining number.

- (a) To determine the required number of off-street parking spaces, floor area shall be as defined in Article 10 of this chapter, except that for the purposes of this section, basement floor area shall be included as floor area for parking purposes when it is devoted to uses having a parking requirement specified in Tables 21-6.1, 21-6.2 and 21-6.3.
- (b) When computation of the total required parking spaces for a zoning lot results in a fractional number with a major fraction (i.e., 0.5 or greater), the number of spaces required shall be the next highest whole number.
- (c) In stadiums, sports arenas, meeting facilities, and other places of assembly in which patrons or spectators occupy benches, pews or other similar seating facilities, each 24 inches of width shall be counted as a seat for the purpose of determining requirements for off-street parking.
- (d) All required parking spaces must be standard-sized parking spaces, except that duplex units, detached dwellings and multifamily dwellings may have up to 50 percent compact spaces, and accessory dwelling units may have one compact space.
- (e) All spaces, other than for one- and two-family dwellings, shall be individually marked if more than four spaces are required. Compact spaces shall be labeled "compact only."
- (f) When a building or premises include uses incidental or accessory to a principal use, the total number of spaces shall be determined on the basis of the parking requirements of the principal use(s).
- (g) Parking requirements for conversion or development of hotels to condominium ownership other than in the resort district shall be as follows:
- (1) One parking space per dwelling unit or lodging unit.
 - (2) One parking space per 800 square feet for any accessory uses.
 - (3) This subsection shall not apply so long as the structure continues in hotel use.
- (Added by Ord. 99-12; Am. Ord. 15-41)

Table 21-6.1 Off-street Parking Requirements	
Use ¹	Requirement ²
AGRICULTURE	
Agricultural products processing (major or minor); animal products processing; centralized bulk collection, storage and distribution of agricultural products to wholesale and retail markets; sale and service of machinery used in agricultural production; sawmills; and storage and sale of seed, feed, fertilizer and other products essential to agricultural production.	1 per 1,500 square feet
ANIMALS	
Kennels, commercial	1 per 400 square feet, but no less than 4
COMMERCE AND BUSINESS	
Automotive and boat parts and services, but not storage and repair; automobile and boat sales and rentals; catering establishments; dance or music schools; financial institutions; home improvement centers; laboratories (medical or research); medical clinics; offices, other than herein specified; personal services; photographic processing; photography studios; plant nurseries; retail establishments other than herein specified; and veterinary establishments	1 per 400 square feet
Bowling alleys	3 per alley
Business services	1 per 500 square feet
Convenience stores; and sales: food and grocery stores (including neighborhood grocery stores)	1 per 300 square feet
Data processing facilities	1 per 800 square feet
Drive-thru facilities (window or machine)	5 stacking spaces
Eating and drinking establishments (including bars, nightclubs, taverns, cabarets, and dance halls)	1 per 300 square feet, provided the total floor area of all eating and drinking establishments comprises 50 percent or more of the floor area developed on the zoning lot. Otherwise, 1 per 400 square feet, including outdoor dining areas.
Laundromats, cleaners: coin operated	1 per 2 washing machines
Sales: appliance, household and office furniture; machinery; and plumbing and heating supply	1 per 900 square feet
Self-storage facilities	1 per 2,000 square feet
Shopping centers ³	1 per 300 square feet
Skating rinks	1 for each 4 skaters of the rink's maximum capacity or 1 per 1,500 square feet of skating surface, whichever is greater.
DWELLINGS AND LODGINGS	
Boarding facilities	2 plus 0.75 per unit
Consulates	1 per dwelling or lodging unit, plus 1 per 400 square feet of office floor area, but not less than 5

Table 21-6.1 Off-street Parking Requirements	
Use ¹	Requirement ²
Dwellings, accessory dwelling unit	1 per accessory dwelling unit or none if the accessory dwelling unit is located within one-half mile of a rail transit station
Dwellings, detached, duplex and farm	2 per unit plus 1 per 1,000 square feet over 2,500 square feet (excluding carport or garage)
Dwellings, multifamily	Floor Area of Dwelling or Lodging Units
	600 sq. ft. or less 1
	More than 600 but less than 800 sq. ft. 1.5
	800 sq. ft. and over 2
	Plus 1 guest parking stall per 10 units for all projects
Hotels: dwelling units	1 per unit
Hotels: lodging units; and lodging units	0.75 per unit
INDUSTRIAL	
Food manufacturing and processing; freight movers; heavy equipment sales and rentals; linen suppliers; manufacturing, processing and packaging (light or general); maritime-related sales, construction, maintenance and repairing; motion picture and television studios; petroleum processing; port facilities; publishing plants for newspapers, books and magazines; salvage, scrap and junk storage and processing; storage yards; warehousing; waste disposal and processing; and wholesale and retail establishments dealing primarily in bulk materials delivered by or to ship, or by ship and truck in combination	1 per 1,500 square feet
Repair establishments, major	1 per 300 square feet
Repair establishments, minor	1 per 500 square feet
Wholesaling and distribution	1 per 1,000 square feet
OUTDOOR RECREATION	
Boat launching ramps	10 per launching ramp
Golf driving ranges	2 per tee stall
Marinas	1 per 2 moorage stalls
Recreation facilities, outdoor and indoor, involving swimming pools and sports played on courts	1 per 200 square feet of seating area, plus 3 per court, e.g., racquetball, tennis or similar court, and 12 per outdoor playfield
SOCIAL AND CIVIC SERVICE	
Art galleries, museums and libraries	1 per 400 square feet
Auditoriums, funeral homes/mortuaries, meeting facilities, gymnasiums, sports arenas, and theaters	1 per 75 square feet of assembly area or 1 per 5 fixed seats, whichever is greater
Day-care facilities	1 per 350 square feet of classroom area, meeting area, and/or gathering space, plus 1 per 400 square feet of office floor space
Schools: elementary and intermediate	1 per 400 square feet of classroom area, plus 1 per 400 square feet of office floor space
Schools: high, language, vocational, business, technical, and trade; business colleges	1 per 200 square feet of high school, language school, business school, or business college classroom area; 1 per 500 square feet of vocational, technical, or trade school classroom area; plus 1 per 400 square feet of office floor space
TRANSPORTATION AND PARKING	
Automobile service stations	3 per repair stall
Car washing, mechanized	10 standing spaces for waiting vehicles for each car wash rack
UTILITIES AND COMMUNICATIONS	
Broadcasting stations	1 per 400 square feet
PARKING TO BE DETERMINED BY THE DIRECTOR	
Agriculture - aquaculture; composting (major or minor); crop production; forestry; and roadside stands. Animals - game preserves; livestock grazing; livestock production (major or minor); livestock veterinary services; and zoos.	As determined by the director

Table 21-6.1 Off-street Parking Requirements	
Use ¹	Requirement ²
<p>Commerce and business - amusement and recreation facilities, indoor and outdoor; home occupations; plant nurseries; and trade or convention centers.</p> <p>Dwellings and lodgings - group living facilities.</p> <p>Industrial - base yards; explosive and toxic chemical manufacturing, storage and distribution; and resource extraction.</p> <p>Outdoor recreation - amusement facilities, outdoor (motorized and not motorized); botanical gardens; golf courses; recreation facilities, outdoor and indoor, other than as herein specified; and marina facilities.</p> <p>Social and civic service - cemeteries and columbaria; hospitals; prisons; public uses and structures; universities and colleges.</p> <p>Transportation and parking - airports; heliports; helistops; and truck terminals.</p> <p>Utilities and communications - broadcasting antennas; receive-only antennas; utility installations (Type A or B); and wind machines.</p> <p>Miscellaneous - All other uses not herein specified</p>	

(Added by Ord. 99-12; Am. Ord. 10-19, 15-41)

Table 21-6.2 Off street Parking Requirements BMX 4 Central Business Mixed Use	
Use ⁴	Requirement ⁵
Amusement and recreation facilities, indoor, other than herein specified	1 per 300 square feet, or 1 per 10 fixed seats, whichever is greater
Auditoriums	1 per 300 square feet, or 1 per 10 fixed seats, whichever is greater
Automotive equipment and boat sales and service	1 per 1,200 square feet
Bowling alleys	1 per alley
Business services	1 per 500 square feet
Consulates	1 per dwelling or lodging unit, plus 1 per 400 square feet of office floor area, but no less than 5
Dwellings, multifamily	1 per dwelling unit
Eating and drinking establishments	1 per 300 square feet of dining area over 1,500 square feet, plus 1 per 400 square feet of kitchen and other areas
Financial institutions	1 per 600 square feet over 4,000 square feet
Hotels	1 per 4 units
Kennels (other than as an accessory use)	1 per 600 square feet over 4,000 square feet
Medical clinics	1 per 600 square feet over 4,000 square feet
Medical laboratories	1 per 600 square feet over 4,000 square feet
Meeting facilities	1 per 300 square feet, or 1 per 10 fixed seats, whichever is greater
Offices, other than herein specified	1 per 600 square feet over 4,000 square feet
Personal services, other than herein specified	1 per 600 square feet over 4,000 square feet
Repair establishments, minor	1 per 600 square feet over 4,000 square feet
Retail, other than herein specified	1 per 600 square feet over 4,000 square feet
Sales: appliance, household and office furniture	1 per 1,200 square feet
Sales: machinery	1 per 1,200 square feet
Self storage facilities	1 per 2,000 square feet

(Added by Ord. 99-12)

Table 21-6.3 Off street Parking Requirements Waikiki Special District	
Use ⁶	Requirement ⁵

Art galleries, museums, libraries	1 per 300 square feet or fraction thereof in excess of 1,000 square feet, but no less than 10
Day-care facilities	1 per 10 enrollment capacity
Dwellings, detached, duplex, and multifamily	1 per dwelling or lodging unit
Group living facilities	1 per 4 patient beds
Hotels	0.25 per dwelling or lodging unit
Meeting facilities	1 per 10 seats, or where the number of seats cannot be reliably estimated or determined, at least 1 space per 200 square feet
Schools: elementary and intermediate	1 per 15 seats in the main auditorium
Schools: high	1 per 5 seats in the main auditorium or 5 spaces per classroom, whichever is greater
All other permitted uses except in the public precinct	1 per 800 square feet
All permitted uses in the public precinct	With respect to projects requiring a major special district permit, as determined by the council by resolution as appropriate for the particular use and its location; with respect to all other projects, as determined by the director as appropriate for the particular use and its location

Notes:

- Where a proposed use is not specifically listed above, or it falls under more than one use listed above, the director will review the proposed use and, based on the characteristics of the use, determine its equivalent and applicable off-street parking and loading requirements.
- All references to square feet refer to floor area.
- Parking standards for individual uses shall prevail if they are not part of a commercial use that meets the definition of "shopping center."
- Where a proposed use is not specifically listed above, or it falls under more than one use listed above, the director will review the proposed use and, based on the characteristics of the use, determine its equivalent and applicable off street parking and loading requirements for the BMX-4 district.
- All references to square feet refer to floor area.
- Where a proposed use is not specifically listed above, or it falls under more than one use listed above, the director will review the proposed use and, based on the characteristics of the use, determine its equivalent and applicable off street parking and loading requirements for the Waikiki special district.

(Added by Ord. 99-12; Am. Ord. 03-38)

Sec. 21-6.40 Arrangement of parking spaces.

- Except for landscaping elements as provided under Section 21-4.70(b), all spaces shall be unobstructed, provided that building columns may extend a maximum total of six inches into the sides of the parking space. A wall is not considered a building column.
- Where four or more parking spaces are required, other than for one-family and two-family dwellings, the parking lot or area shall be designed or arranged in a manner that no maneuvering into or from any street, alley or walkway is necessary in order for a vehicle to enter or leave a space, and which allows all vehicles to enter the street in a forward manner.
- All spaces must be arranged so that any automobile may be moved without moving another except that tandem parking is permissible in any of these instances:
 - Where two or more parking spaces are assigned to a single dwelling unit and/or a parking space is assigned to an accessory dwelling unit.
 - For use as employee parking, except that at no time can the number of parking spaces allocated for employees exceed 25 percent of the total number of required spaces. Also, for employee parking, "tandem" parking is limited to a configuration of two stacked parking stalls.
 - Where all parking is performed by an attendant at all times, and vehicles may be moved within the lot without entering any street, alley or walkway.
 - For public assembly facilities and temporary events when user arrivals and departures are simultaneous and parking is attendant directed.

(Added by Ord. 99-12; Am. Ord. 15-41)

Sec. 21-6.50 Minimum dimensions.

- Standard sized automobile parking spaces shall be at least 18 feet in length and eight feet three inches in width, with parallel spaces at least 22 feet in length.
- Compact spaces shall be at least 16 feet in length and seven and one-half feet in width, with parallel spaces at least 19 feet in length.
- Parking spaces for boat launching ramps shall have a minimum dimension of 40 feet in length and 12 feet in width.
- Minimum aisle widths for parking bays shall be provided in accordance with the following:

Parking Angle	Aisle Width
0° - 44°	12 ft.
45° - 59°	13.5 ft.
60° - 69°	18.5 ft.
70° - 79°	19.5 ft.
80° - 89°	21 ft.

90°

22 ft.

Notwithstanding the foregoing, with a parking angle of 90 degrees, the minimum aisle width may be reduced by one foot for every six inches of additional parking space width above the minimum width of eight feet three inches, to a minimum aisle width of 19 feet.

- (e) Ingress and egress aisles shall be provided to a street and between parking bays, and no driveway leading into a parking area shall be less than 12 feet in width, except that driveways for detached dwellings and duplex units shall be no less than 10 feet in width.

(Added by Ord. 99-12)

Sec. 21-6.60 Improvement of off-street parking spaces, parking lots and driveways.

- (a) All off-street parking spaces, parking lots and driveways shall be provided and maintained with an all weather surface except in preservation, agriculture and country districts where parking lots and driveways may be surfaced with crushed rock or limestone, or as determined by the director under the provisions of Article 2.
- (b) Parking lots or areas, if illuminated, shall be shielded to prevent any direct illumination toward any zoning lot within a country, residential, apartment or apartment mixed use district.
- (c) All parking lots shall be landscaped as specified in Section 21-4.70.
- (d) Required off-street parking stalls may be converted to bicycle or motorcycle parking areas of equivalent or larger area.

(Added by Ord. 99-12)

Sec. 21-6.70 Parking spaces and required yards.

Parking spaces may overlap three feet of required yards, open spaces or required landscaping, if wheel stops are installed, except in special districts and as may be allowed in Article 3, under optional yard siting provisions. (Added by Ord. 99-12)

Sec. 21-6.80 Mechanical parking and storage garages.

Mechanical means of providing parking spaces or access to these parking spaces are permitted, provided the following conditions are met:

- (a) The director shall determine that adequate waiting and maneuvering space is provided on the zoning lot in order to minimize on-street traffic congestion.
- (b) All mechanical parking systems shall be visually screened by providing a solid wall or facade a minimum of 42 inches in height at each level of the mechanical parking system.

(Added by Ord. 99-12)

Sec. 21-6.90 Required parking spaces located off premises.

Off-street parking spaces required for any use may be permitted off the premises as joint use of parking facilities or off-site parking facilities but shall be subject to compliance with the provisions of Articles 2 and 5, conditional uses. (Added by Ord. 99-12)

Sec. 21-6.100 Off-street loading requirements.

Off-street loading requirements shall apply to all zoning lots exceeding 5,000 square feet in area for the class or kind of uses indicated below. The minimum number of off street loading spaces shall be as follows:

Use or Use Category	Floor Area in Square Feet	Loading Space Requirements
A. Retail stores, eating and drinking establishments, shopping centers, wholesale operations, warehousing, business services, personal services, repair, manufacturing, and self-storage facilities	2,000 - 10,000	1
	10,001 - 20,000	2
	20,001 - 40,000	3
	40,001 - 60,000	4
	Each additional 50,000 or major fraction thereof	1
B. Hotels, hospitals or similar institutions, and places of public assembly	5,000 - 10,000	1
	10,001 - 50,000	2
	50,001 - 100,000	3
	Each additional 100,000 or major fraction thereof	1
C. Offices or office buildings	20,000 - 50,000	1
	50,001 - 100,000	2
	Each additional 100,000 or major fraction thereof	1
D. Multifamily dwellings	Number of Units	
	20 - 150	1
	151 - 300	2
	Each additional 200 or major fraction thereof	1

Sec. 21-6.110 Method of determining number.

- (a) To determine the required number of loading spaces, floor area shall be as defined in Article 10, except that when a basement is devoted to a use having a loading requirement, loading spaces shall be required as specified in Section 21-6.100.

- (b) When a building is used for more than one use, and the floor area for each use is below the minimum requiring a loading space, and the aggregate floor area of the several uses exceeds the minimum floor area of the use category requiring the greatest number of loading spaces, at least one loading space shall be required.

(Added by Ord. 99-12)

Sec. 21-6.120 Dimensions of loading spaces.

- (a) When only one loading space is required and total floor area is less than 5,000 square feet, the horizontal dimensions of the space shall be 19 x 8 1/2 feet. It shall have a vertical clearance of 10 feet.
- (b) When more than one loading space is required or total floor area is more than 5,000 square feet, the minimum horizontal dimension of at least half of the required spaces shall be 12 x 35 feet and have a vertical clearance of at least 14 feet. The balance of required spaces may have horizontal dimensions of 19 x 8 1/2 feet and vertical clearance of at least 10 feet.
- (c) Access to loading spaces shall have the same vertical clearance as required for the loading spaces.

(Added by Ord. 99-12)

Sec. 21-6.130 Location and improvement of loading spaces.

- (a) No required loading space shall be in any street or alley but shall be provided within the building or adjacent to the building.
- (b) Where loading areas are illuminated, all sources of illumination shall be shielded to prevent any direct illumination toward any country, residential, apartment or apartment mixed use districts.
- (c) Each required loading space shall be identified as such and shall be reserved for loading purposes.
- (d) No loading space shall occupy required off-street parking spaces or restrict access.
- (e) All loading spaces and maneuvering areas shall be paved or covered with an all-weather surface.
- (f) Except in front and side yards in agricultural, country and residential districts, no loading space or maneuvering area shall be located within a required yard, except if the area displaced by the loading space or maneuvering area is provided as open space immediately abutting the required yard, and the design is approved by the director.

(Added by Ord. 99-12)

Sec. 21-6.140 Exceptions to off-street parking and loading requirements.

- (a) In connection with planned development-housing projects, cluster housing, and conditional use permits, and within special districts, the director may impose special parking and loading requirements.
- (b) All buildings and uses, except multifamily dwellings and hotels, which are located within the boundaries of any improvement district for public off-street parking and which have been assessed their share of the cost of the improvement district, shall be exempt from off-street parking requirements of this chapter.

(Added by Ord. 99-12)

208 Parking Spaces

208.1 General. Where parking spaces are provided, parking spaces shall be provided in accordance with 208.

EXCEPTION: Parking spaces used exclusively for buses, trucks, other delivery vehicles, law enforcement vehicles, or vehicular impound shall not be required to comply with 208 provided that lots accessed by the public are provided with a passenger loading zone complying with 503.

208.2 Minimum Number. Parking spaces complying with 502 shall be provided in accordance with Table 208.2 except as required by 208.2.1, 208.2.2, and 208.2.3. Where more than one parking facility is provided on a site, the number of accessible spaces provided on the site shall be calculated according to the number of spaces required for each parking facility.

Table 208.2 Parking Spaces

Total Number of Parking Spaces Provided in Parking Facility	Minimum Number of Required Accessible Parking Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000

Advisory 208.2 Minimum Number. The term “parking facility” is used Section 208.2 instead of the term “parking lot” so that it is clear that both parking lots and parking structures are required to comply with this section. The number of parking spaces required to be accessible is to be calculated separately for each parking facility; the required number is not to be based on the total number of parking spaces provided in all of the parking facilities provided on the site.



HALEIWA TOWN B1 ZONED +/- 1 ACRE DEVELOPMENT PARCEL
ATTACHMENT J - SITE PHOTOS (1 OF 2)



1. VIEW OF PROPERTY FROM THE SOUTH
ALONG KAMEHAMEHA HWY



2. VIEW OF PROPERTY FROM ACROSS
KAMEHAMEHA HWY



3. VIEW OF PROPERTY FROM THE NORTH ALONG
KAMEHAMEHA HWY



4. ARIAL VIEW OF PROPERTY FROM THE SOUTH ALONG KAMEHAMEHA HWY



5. ARIAL VIEW OF PROPERTY FROM ACROSS KAMEHAMEHA HWY

HALEIWA TOWN B1 ZONED +/- 1 ACRE DEVELOPMENT PARCEL
ATTACHMENT J - SITE PHOTOS (20F 2)

